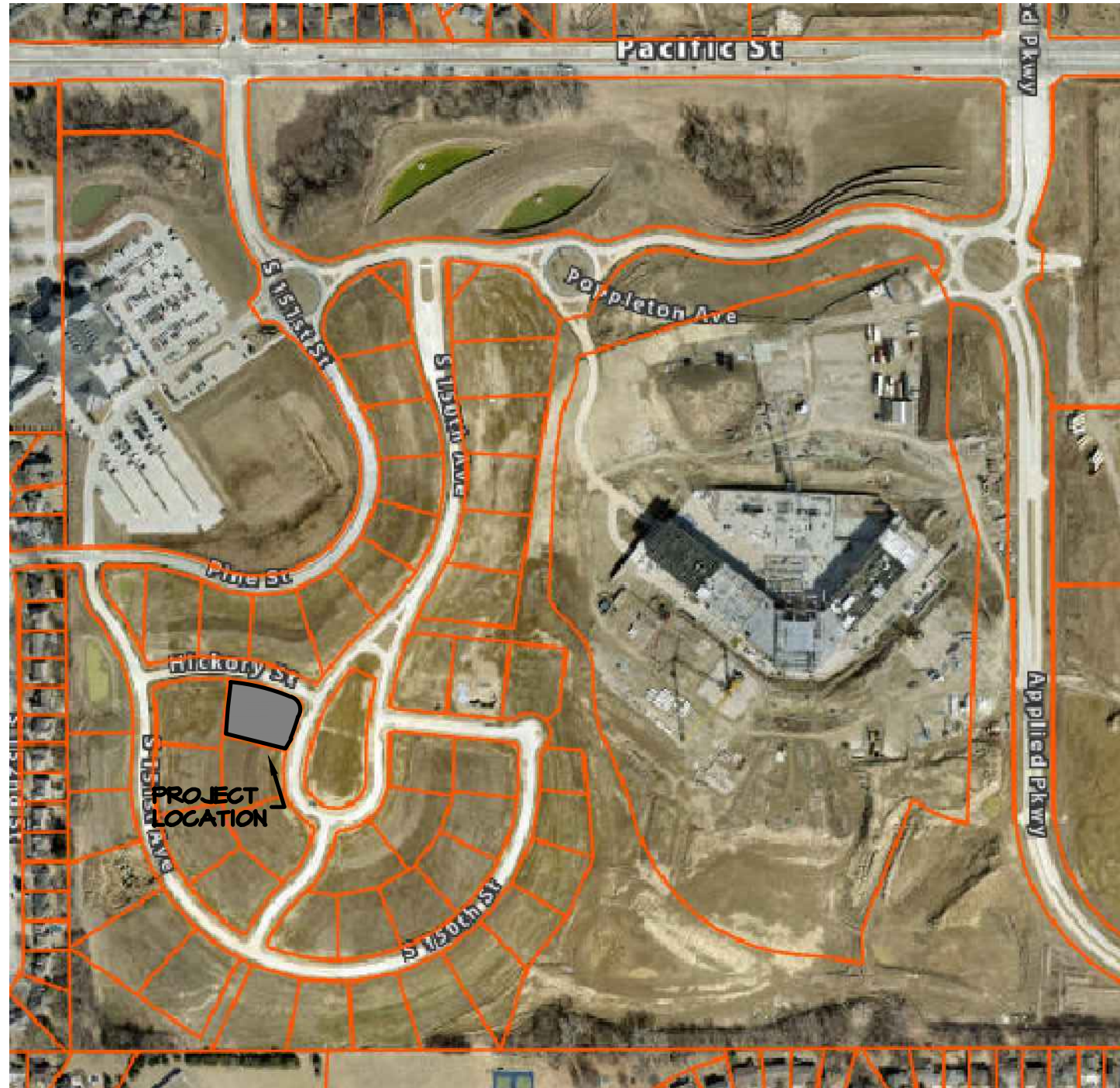


LOT #22 CROCKETT
RESIDENCE



ARTIST RENDERING ONLY. SEE EXTERIOR ELEVATIONS FOR DETAIL

KEYMAP:



PROJ. INFORMATION:

PROJECT OWNER:	LOT #22 HEARTWOOD ESTATES CROCKETT RESIDENCE 1702 S. 150TH AVENUE OMAHA, NE 68144
BUILDER:	MCNEIL COMPANY 4666 SOUTH 132ND STREET OMAHA, NEBRASKA 68137 PHONE: (402) 333-1462
JOB LOCATION:	1702 S. 150TH AVENUE OMAHA, NE 68144
SITE EXAMINATION:	CONTRACTORS ARE REQUIRED TO VISIT THE SITE, COMPARE THE CONTRACT DOCUMENTS WITH WORK IN PLACE, AND INFORM THEMSELVES OF ALL EXISTING CONDITIONS. FAILURE TO VISIT THE SITE WILL IN NO WAY RELIEVE THE CONTRACTOR FROM FURNISHING ANY MATERIALS OR PERFORMING ANY WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AT NO ADDITIONAL COMPENSATION FROM THE OWNER.
City of Omaha Permits & Inspections Division 3819 Farmington Street, Room 3110 Omaha, NE 68183 Phone: 402-444-3350 Fax: 402-444-5235	
Current Codes	
Residential Building Code (single-family/two-family/townhomes)	2018 IRC
Commercial Building Code	2018 IRC
Existing Building Code	2018 IRC
Electrical Code	2017 NEC
Energy Code	2018 IECC (2018 IRC Chapter 11 for Residential)
Fire Code	2012 LSC and 2012 IFG
Accessibility Code	2008 IRC (including ICC A117.1-2009)
Mechanical Code	Chapter 40 Omaha Municipal Code and 2012 IMC
Plumbing Code	Chapter 40 Omaha Municipal Code, 2018 Omaha Plumbing Code
Zoning	Chapter 55 Omaha Municipal Code
Note: Most national codes used in Omaha have local amendments. Amendments are available on the internet at www.omahacode.com or at the City of Omaha's website at www.cityofomaha.org. Information shown on the Municode website may be up to six months behind!	
Engineering Data	
Front Depth:	42" minimum
Soil Bearing Capacity without Soil Test	1,500 psf

SHEET INDEX:

A0.01 -	GENERAL INFORMATION - SHEET INDEX
A0.02 -	RENDERINGS
A0.03 -	RENDERINGS

C1.01 -	SITE PLAN
C1.02 -	SITE PLAN

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A1.02 -	LOWER LEVEL FLOOR PLAN
A1.03 -	MAIN LEVEL FLOOR PLAN
A1.04 -	SECOND LEVEL FLOOR PLAN
A1.05 -	ROOF PLAN

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A2.02 -	REAR AND LEFT EXTERIOR ELEVATIONS
A2.03 -	OBSCURE EXTERIOR ELEVATIONS

A3.01 -	WALL SECTIONS AND DETAILS
A3.02 -	STAIR SECTIONS AND STAIR PLANS

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A4.03 -	INTERIOR ELEVATIONS
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E1.01 -	LOWER LEVEL ELECTRICAL PLAN
E1.02 -	MAIN LEVEL ELECTRICAL PLAN
E1.03 -	SECOND LEVEL ELECTRICAL PLAN

F1.01 -	LOWER LEVEL FLOOR PLAN
F1.02 -	MAIN LEVEL FLOOR PLAN
F1.03 -	SECOND LEVEL FLOOR PLAN

P1.01 -	PLUMBING ROUGH IN PLAN
---------	------------------------

CROCKETT LOT22
RESIDENCE

1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144

MCNEIL COMPANY
4666 South 132nd Street
Omaha, NE 68137
402-333-1462
mcneilcompany.com

PLAN DATE 07/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26

JOB NUMBER

15-2510

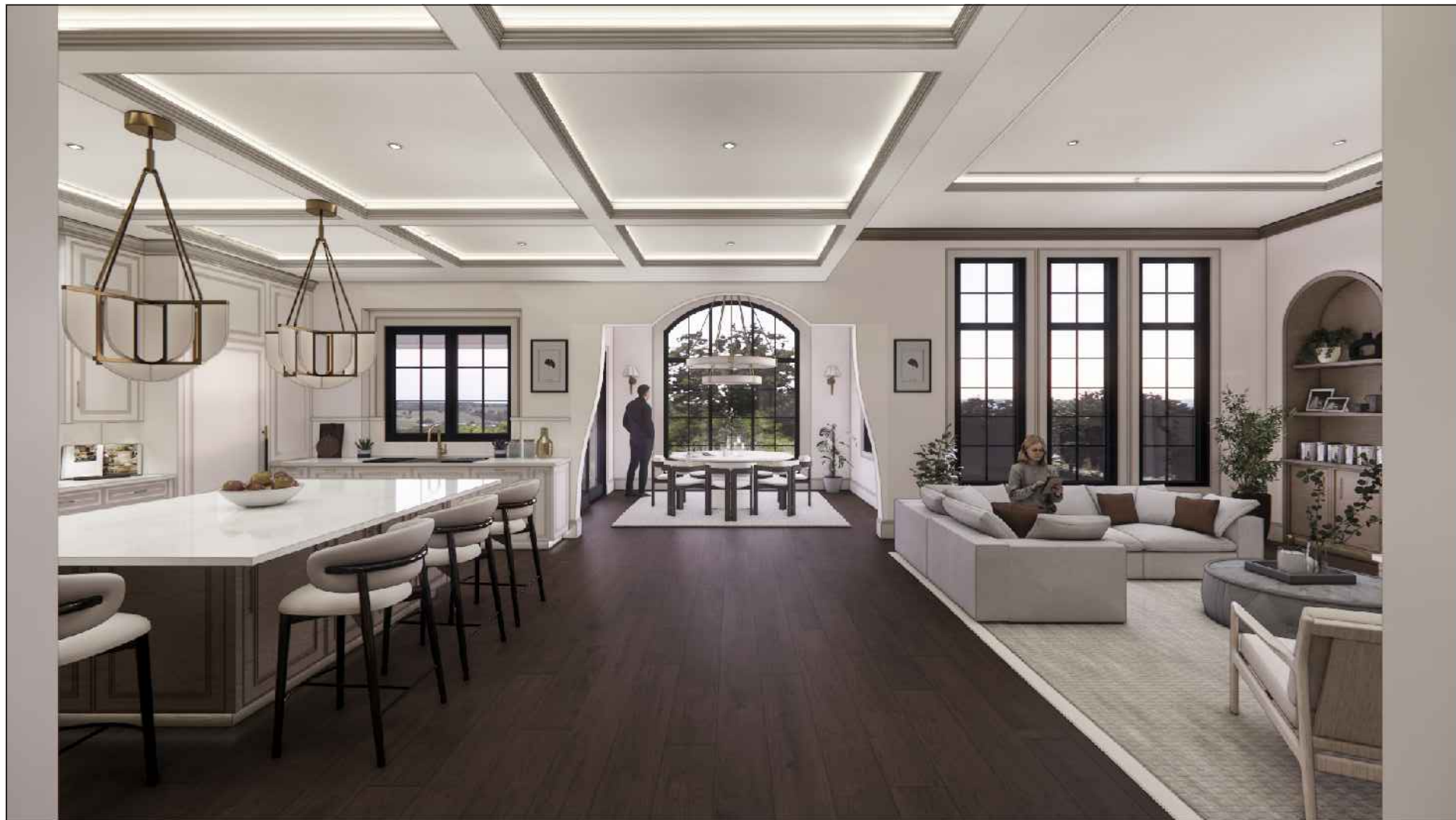
DESCRIPTION

TITLE SHEET,
GENERAL INFO.,
SHEET INDEX

PLAN SHEET

A0.01

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KITCHEN AND GREAT ROOM RENDERING
NTS



KITCHEN RENDERING
NTS



GREAT ROOM RENDERING
NTS



COFFEE BAR DOOR RENDERING
NTS



KITCHEN AND GREAT ROOM RENDERING
NTS



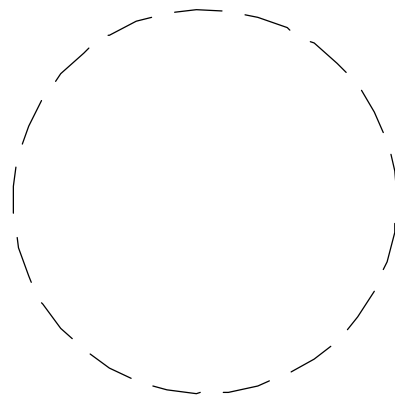
COFFEE BAR DOOR RENDERING
NTS



CROCKETT LOT22
RESIDENCE
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REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
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DESCRIPTION
TITLE SHEET, GENERAL INFO., SHEET INDEX
PLAN SHEET
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PLOT DATE: 1/17/2026
D:\MCNEIL COMPANY DROPBOX\KENT RASMUSSEN\McNEIL DESIGN\RESIDENTIAL\15-2510 CROCKETT HEARTWOOD LOT22\AO TITLE SHEET.DWG
HOME PAGE: A0.01



EXTERIOR RENDERING FRONT
FOR COLOR DEPICTION ONLY

XX
XX



EXTERIOR RENDERING SIDE 1
FOR COLOR DEPICTION ONLY

XX
XX



EXTERIOR RENDERING REAR
FOR COLOR DEPICTION ONLY

XX
XX



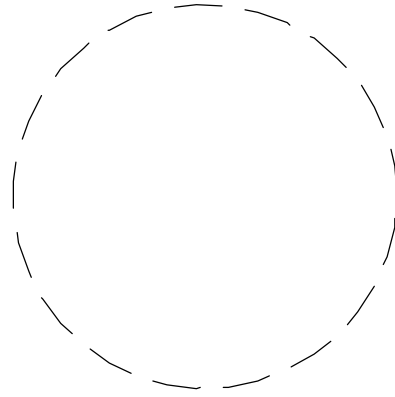
EXTERIOR RENDERING SIDE 2
FOR COLOR DEPICTION ONLY

XX
XX

CROCKETT LOT22
RESIDENCE
1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144

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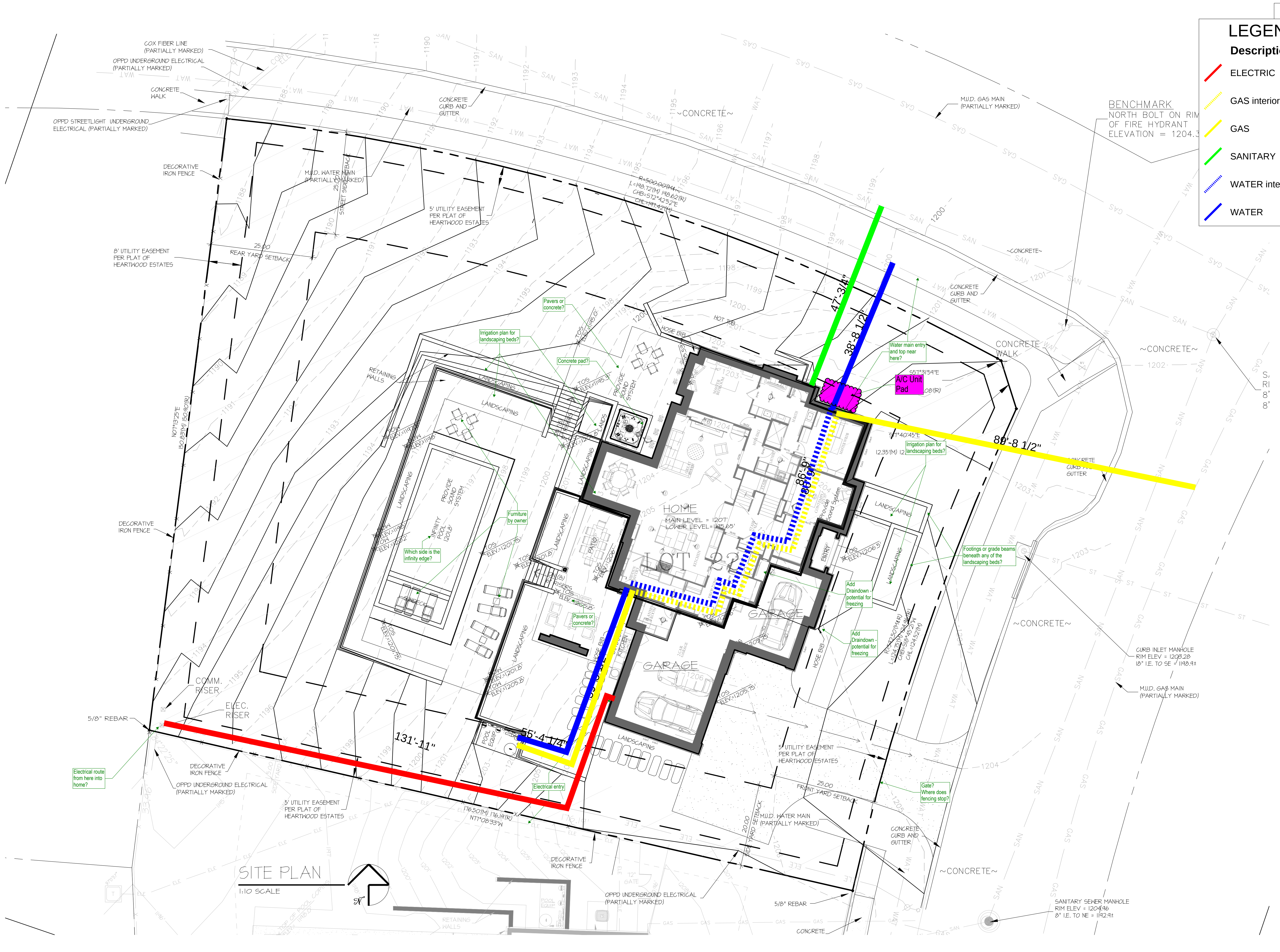
PLAN DATE 01/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26



JOB NUMBER 15-2510
DESCRIPTION TITLE SHEET, GENERAL INFO., SHEET INDEX
PLAN SHEET

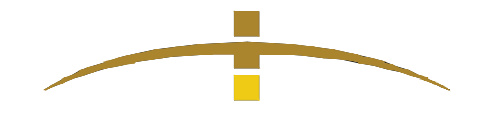
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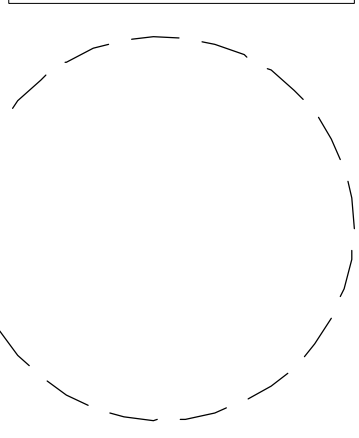
LEGEND TITLE		
Description	Quantity	Unit
ELECTRIC	131.9131	ft
GAS interior	86.7523	ft
GAS	148.9818	ft
SANITARY	47.0544	ft
WATER interior	86.7523	ft
WATER	94.0717	ft

CROCKETT LOT22
RESIDENCE
IT02 SOUTH 150 AVE. OMAHA, NEBRASKA 68144



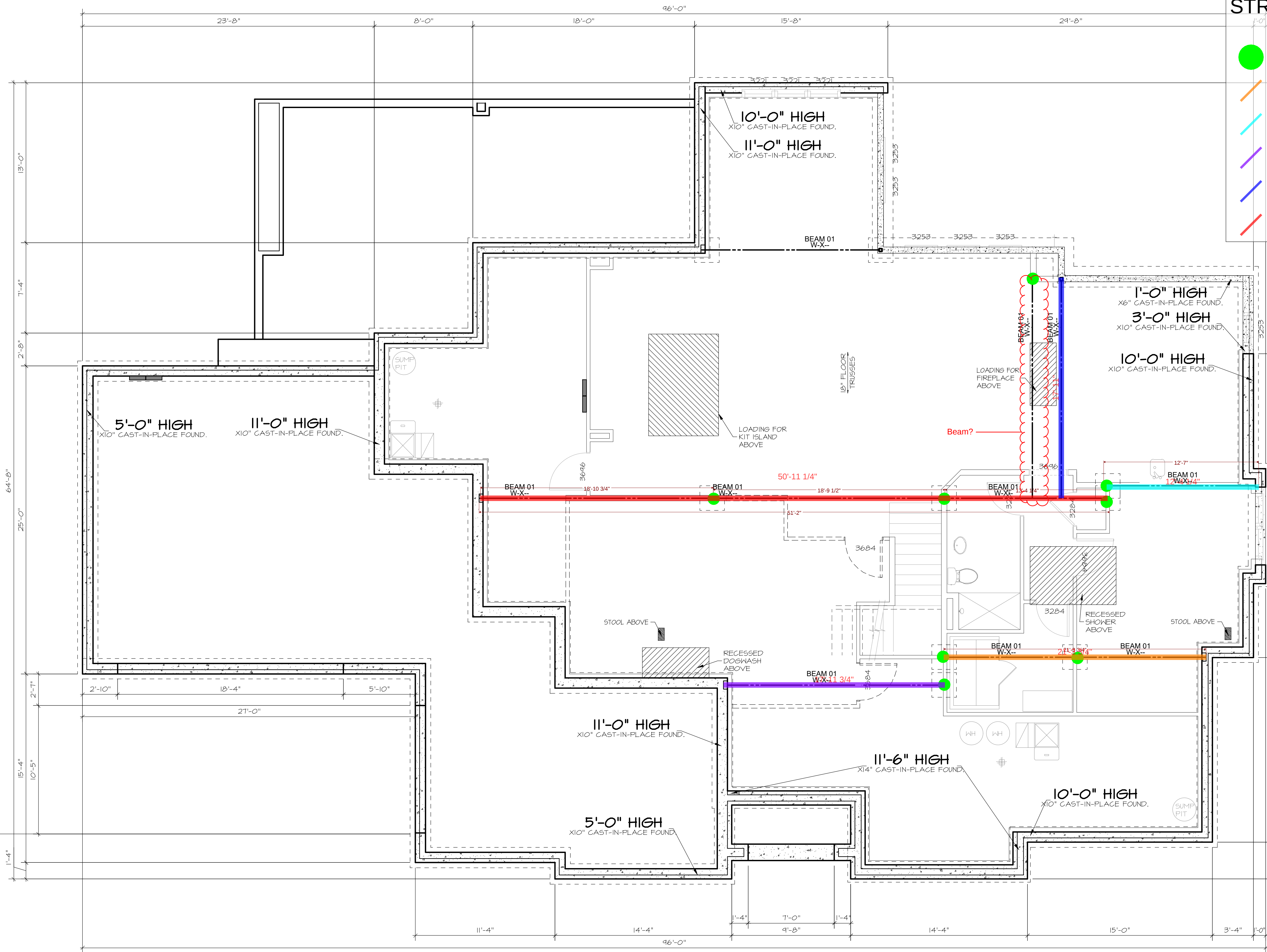
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PLAN DATE	
01/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
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JOB NUMBER	
15-2510	
DESCRIPTION	
CIVIL PLAN	
PLAN SHEET	
C1.01	

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FOUNDATION PLAN

1/4" = 1'-0"

STRUCTURAL - STEEL

Description	Quantity	Unit
Columns	8	Count
W10x22	21.3175	ft
W10x39	12.3628	ft
W10x40	17.9694	ft
W12x40	17.9200	ft
W12x65	50.9376	ft

STRUCTURAL HEADERS:

- H-1 (2) 2X8 MIN.
- H-2 (2) 2X10 MIN.
- H-3 (2) 1 3/4" X 11 7/8" LVL'S MIN.
- H-4 (2) 1 3/4" X 14" LVL'S MIN.
- H-5 (2) 1 3/4" X 16" LVL'S MIN.

HEADERS WITHOUT NOTE ARE MIN. DOUBLE 2X6. PROVIDE 2X6 TOP AND BOTTOM PLATE FOR ALL HEADERS AND (1) JACK STUD AND (1) FULL HEIGHT KING STUD AT EACH JAMB.

LINTEL SUPPORT:

- GALVANIZED L-4X4X5/16" BRICK LEDGER ANGLE W/ 8" BEARING AT EACH END.
- GALVANIZED L-6X4X5/16" (LONG LEG VERTICAL) BRICK LEDGER ANGLE W/ 8" BEARING AT EACH END.
- GALVANIZED L-7X4X3/8" (LONG LEG VERTICAL) BRICK LEDGER ANGLE W/ 12" BEARING AT EACH END.
- GALVANIZED L-6X4X5/16" (LONG LEG VERTICAL) BRICK LEDGER ANGLE W/ PAIRS OF SIMPSON SD5-25000 WOOD SCREWS AT 3" GAGE AT 16" O.C.

FOOTING SCHEDULE

PAD FOOTINGS (LXWXD)	RE-INFORCING
F-1 3'-0"X3'-0"X8"	4 - #4 BARS @ 9 3/4" O.C. E.W. @ BOT
F-2 4'-0"X4'-0"X8"	5 - #4 BARS @ 10 3/8" O.C. E.W. @ BOT
WALL FOOTINGS (LXWXD)	RE-INFORCING
WF-1 CONT.X1'-4"X8"	2 - #4 CONT. @ 9 1/2" O.C.
WF-2 CONT.X1'-8"X8"	3 - #4 CONT. @ 8 3/4" O.C.

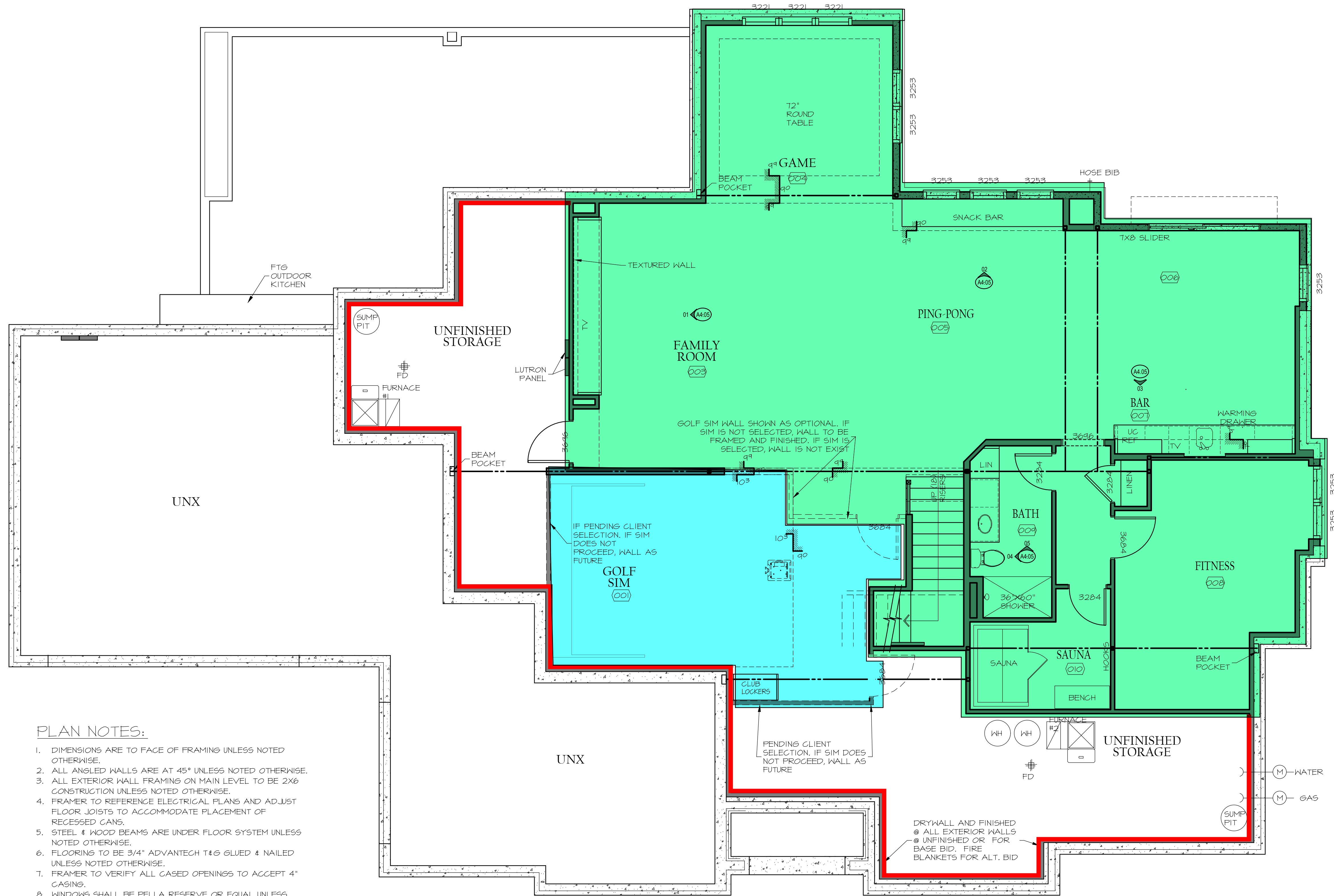
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mcneilcompany.com

PLAN DATE	01/17/2026
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26

JOB NUMBER	15-2510
DESCRIPTION	FOUNDATION PLAN
PLAN SHEET	A1.01

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CROCKETT LOT22
RESIDENCE
1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144



PLAN NOTES:

1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
2. ALL ANGLED WALLS ARE AT 45° UNLESS NOTED OTHERWISE.
3. ALL EXTERIOR WALL FRAMING ON MAIN LEVEL TO BE 2X6 CONSTRUCTION UNLESS NOTED OTHERWISE.
4. FRAMER TO REFERENCE ELECTRICAL PLANS AND ADJUST FLOOR JOISTS TO ACCOMMODATE PLACEMENT OF RECESSED CANS.
5. STEEL & WOOD BEAMS ARE UNDER FLOOR SYSTEM UNLESS NOTED OTHERWISE.
6. FLOORING TO BE 3/4" ADVANTECH T&G GLUED & NAILED UNLESS NOTED OTHERWISE.
7. FRAMER TO VERIFY ALL CASED OPENINGS TO ACCEPT 4" CASING.
8. WINDOWS SHALL BE PELLA RESERVE OR EQUAL UNLESS NOTED OTHERWISE.
9. STANDARD HEADER HEIGHT FOR LOWER LEVEL WINDOWS SHALL BE 8'-0 1/2" UNO.
10. AT SLOPED CEILING LOCATIONS PROVIDE 2X10's MINIMUM TO ACCOMMODATE R30 BATT INSULATION.
11. PROVIDE BLOW-IN INSULATION IN ALL EXTERIOR WALLS. SOUND INSULATION SHALL BE BATT UNLESS NOTED OTHERWISE.
10. ALL CABINET FINISHED ENDS TO HAVE DECORATIVE FINISHED PANELS.
11. - SOLID BEARING THAT TERMINATES AT FOOTINGS.
12. FLUSH paneled opening over 1/2" PLYWOOD.

LOWER LEVEL

1/4" = 1'-0"

SQUARE FOOTAGES

	SQ. FT.
LOWER LEVEL	2106
MECHANICAL / STORAGE	711

CROCKETT LOT22
RESIDENCE

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JOB NUMBER

15-2510

DESCRIPTION

LOWER LEVEL
FLOOR PLAN

PLAN SHEET

A1.02

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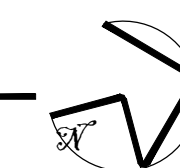


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7. FRAMER TO VERIFY ALL GASED OPENINGS TO ACCEPT 4" CASING.
8. WINDOWS SHALL BE PELLA RESERVE OR EQUAL UNLESS NOTED OTHERWISE.
9. STANDARD HEADER HEIGHT FOR LOWER LEVEL WINDOWS SHALL BE 8'-0" 1/2" UNO.
10. AT SLOPED CEILING LOCATIONS PROVIDE 2X10'S MINIMUM TO ACCOMMODATE R30 BATT INSULATION.
11. PROVIDE BLOW-IN INSULATION IN ALL EXTERIOR WALLS. SOUND INSULATION SHALL BE BATT UNLESS NOTED OTHERWISE.
10. ALL CABINET FINISHED ENDS TO HAVE DECORATIVE FINISHED PANELS.
11. - SOLID BEARING THAT TERMINATES AT FOOTINGS.
12. FLUSH PANELED OPENING OVER 1/2" PLYWOOD.

This area to get open
ceill foam

— Limited access for blow in... figured two batts to get R38.

MAIN LEVEL

$$1/4^n = 1 - O^n$$
SQUARE FOOTAGES

	SQ FT
LOWER LEVEL	2108
MAIN LEVEL	2960
UPPER LEVEL	1661
TOTAL	6729
GARAGE	1121

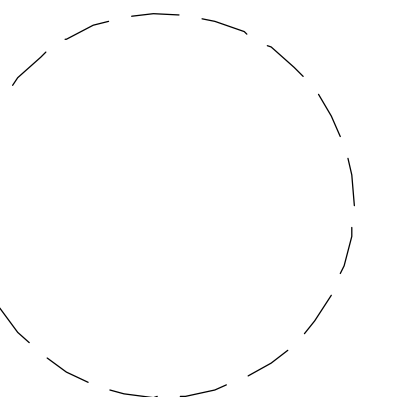
CROCKETT LOT22
RESIDENCE
702 SOUTH 150 AVE OMAHA NEBRASKA

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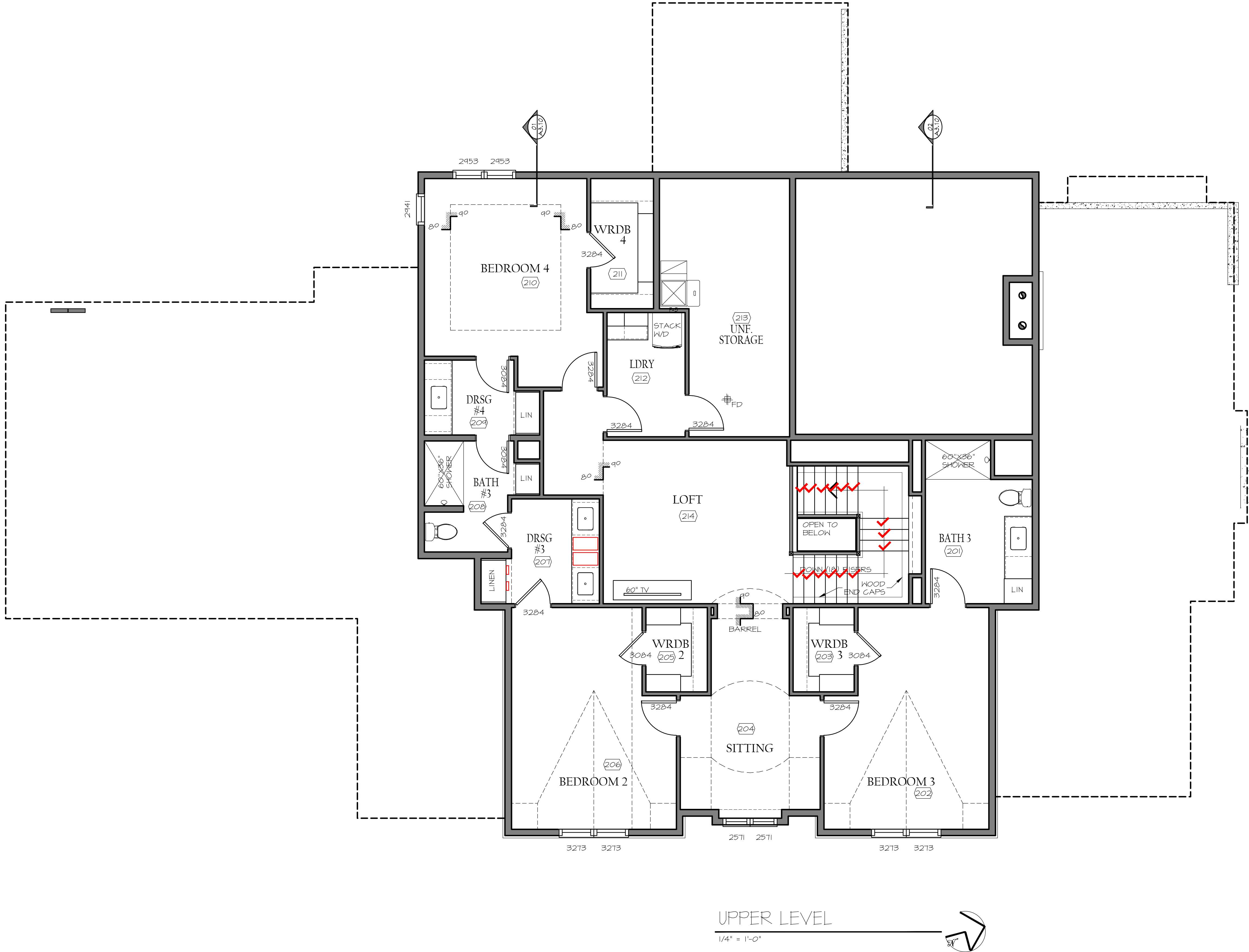
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Omaha, NE 68137
402-333-1462
mcneilcompany.com

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REV.	DATE
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PRELIM BID	07/17/26



JOB NUMBER	15-2510
DESCRIPTION	MAIN LEVEL FLOOR PLAN
PLAN SHEET	A1.03

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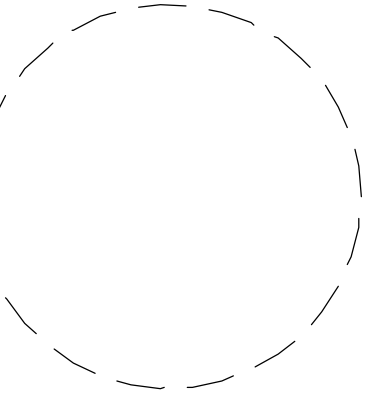


CROCKETT LOT22
RESIDENCE

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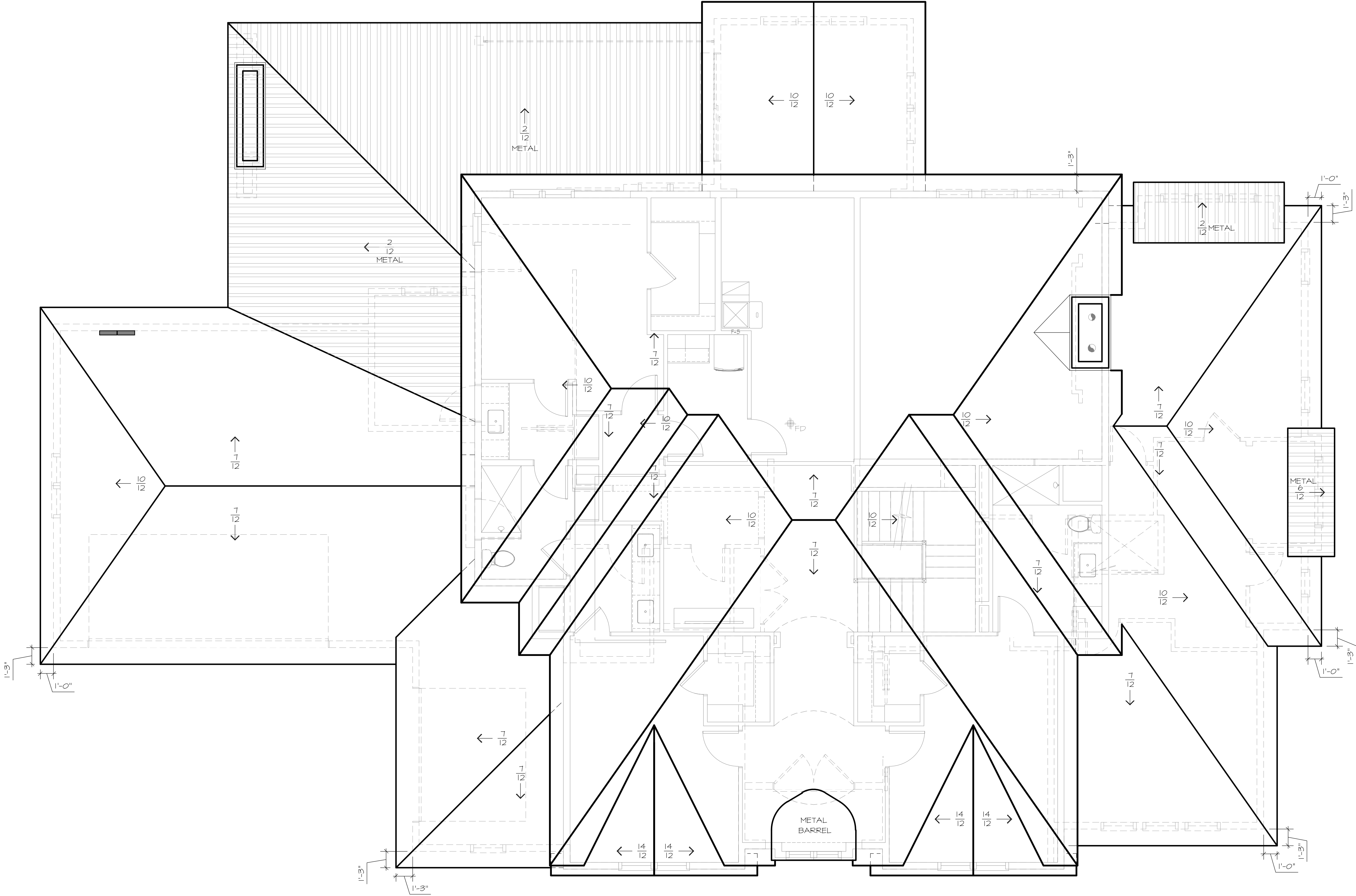
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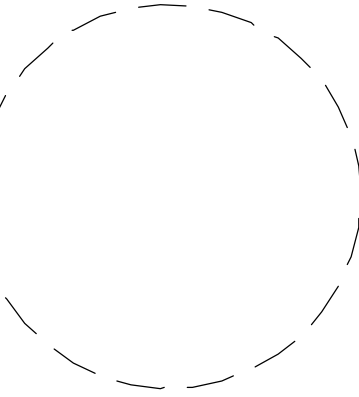
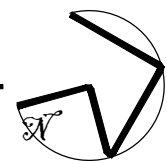
JOB NUMBER 15-2510
DESCRIPTION SECOND LEVEL FLOOR PLAN
PLAN SHEET A1.04

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ROOF PLAN

1/4" = 1'-0"



JOB NUMBER
15-2510
DESCRIPTION
ROOF PLAN
PLAN SHEET
A1.05

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CROCKETT LOT22
RESIDENCE

1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144

EXTERIOR MATERIALS

EXTERIOR SIDING

(S1) EXTERIOR MATERIAL
TYPE-LP SIDING
xxx

(S2) EXTERIOR MATERIAL
TYPE-B4B SIDING
xxxx

EXTERIOR VENEER

(V1) EXTERIOR MATERIAL
TYPE- FULL DEPTH STONE VENEER
COLOR-SIERRA FALLS DIMENSIONAL
ALT BID: GLENVEAGH BY ANTIQUITY

(V2) EXTERIOR MATERIAL
TYPE-THIN STONE VENEER
SPEC: SAME AS V1

EXTERIOR TRIM

(W) EXTERIOR WOOD TRIM
SEE DETAIL XXXX

(T1) STUCCO TRIM
SEE DETAIL XXXX

(T2) THIN STONE TRIM
SEE DETAIL XXXX

(T3) LAP SIDING TRIM
SEE DETAIL XXXX

EXTERIOR E.I.F.S. AND E.I.F.S. TRIM

(E) EXTERIOR MATERIAL
TYPE-EIFS FINISH SYSTEM
STUCCO

EXTERIOR ROOFING

(R1) EXTERIOR MATERIAL
TYPE-ASPHALT SHINGLES ROOFING -
SPEC: CERTAINTED PRESIDENTIAL
SHAKE IR. ALT: MALARKEY
COLOR-TBD

(R2) EXTERIOR MATERIAL
TYPE-STANDING SEAM METAL
XXXX

EXTERIOR PRECAST SHAPES

(P1) EXTERIOR MATERIAL
TYPE-PRECAST STONE TOP
SEE DETAIL XXXX
COLOR-TBD

(P2) PRECAST SURROUND TRIM
SEE DETAIL XXXX

(P3) EXTERIOR MATERIAL
TYPE-PRECAST CHIMNEY
SEE DETAIL XXXX

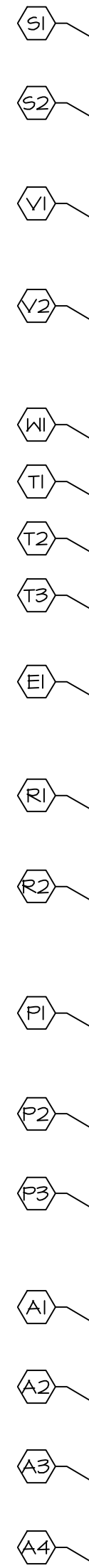
EXTERIOR ACCESSORY

(A1) EXTERIOR ASSESORY
TYPE-XXXX
XXXX

(A2) EXTERIOR ASSESORY
TYPE-XXXX

(A3) EXTERIOR FASCIA
SEE DETAIL XXXX

(A4) EXTERIOR ASSESORY
TYPE-METAL CHIMNEY
SHROUD



FRONT ELEVATION

1/4\"=1'-0"



RIGHT ELEVATION

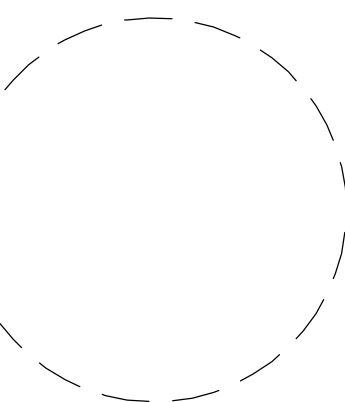
1/4\"=1'-0"

CROCKETT LOT22
RESIDENCE

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Omaha, NE 68137
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01/11/2026	
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HEARTWOOD	05/06/26
PRELIM BID	01/11/26



JOB NUMBER
15-2510
DESCRIPTION
FRONT AND RIGHT
EXTERIOR
ELEVATIONS
PLAN SHEET

A2.01

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EXTERIOR MATERIALS

- EXTERIOR SIDING
- (S1) EXTERIOR MATERIAL
TYPE-LP SIDING
xxx
- (S2) EXTERIOR MATERIAL
TYPE-B&B SIDING
xxxx
- EXTERIOR VENEER
- (V1) EXTERIOR MATERIAL
TYPE- FULL DEPTH STONE VENEER
COLOR-SIERRA FALLS DIMENSIONAL
ALT BID: GLENVEAGH BY ANTIQUITY
- (V2) EXTERIOR MATERIAL
TYPE-THIN STONE VENEER
SPEC: SAME AS V1
- EXTERIOR TRIM
- (W) EXTERIOR WOOD TRIM
SEE DETAIL XXXX
- (T1) STUCCO TRIM
SEE DETAIL XXXX
- (T2) THIN STONE TRIM
SEE DETAIL XXXX
- (T3) LAP SIDING TRIM
SEE DETAIL XXXX
- EXTERIOR E.I.F.S. AND E.I.F.S. TRIM
- (E) EXTERIOR MATERIAL
TYPE-EIFS FINISH SYSTEM
STUCCO
- EXTERIOR ROOFING
- (R) EXTERIOR MATERIAL
TYPE-ASPHALT SHINGLES ROOFING -
SPEC: CERTAINTED PRESIDENTIAL
SHAKE IR. ALT: MALARKEY
COLOR-TBD
- (R2) EXTERIOR MATERIAL
TYPE-STANDING SEAM METAL
XXXX
- EXTERIOR PRECAST SHAPES
- (P) EXTERIOR MATERIAL
TYPE-PRECAST STONE TOP
SEE DETAIL XXXX
COLOR-TBD
- (P2) PRECAST SURROUND TRIM
SEE DETAIL XXXX
- (P3) EXTERIOR MATERIAL
TYPE-PRECAST CHIMNEY
SEE DETAIL XXXX
- EXTERIOR ACCESSORY
- (A1) EXTERIOR ASSESORY
TYPE-XXXX
XXXX
- (A2) EXTERIOR ASSESORY
TYPE-XXXX
- (A3) EXTERIOR FASCIA
SEE DETAIL XXXX
- (A4) EXTERIOR ASSESORY
TYPE-METAL CHIMNEY
SHROUD

PLOT DATE: 1/17/2026
D:\MCNEIL COMPANY DROPBOX\KENT RASMUSSEN\McNEIL DESIGN\RESIDENTIAL\15-2510 CROCKETT HEARTWOOD LOT22\VA2 EXTERIOR\DRAWING

HOME PAGE: A2.01

PLOT DATE: 1/17/2026
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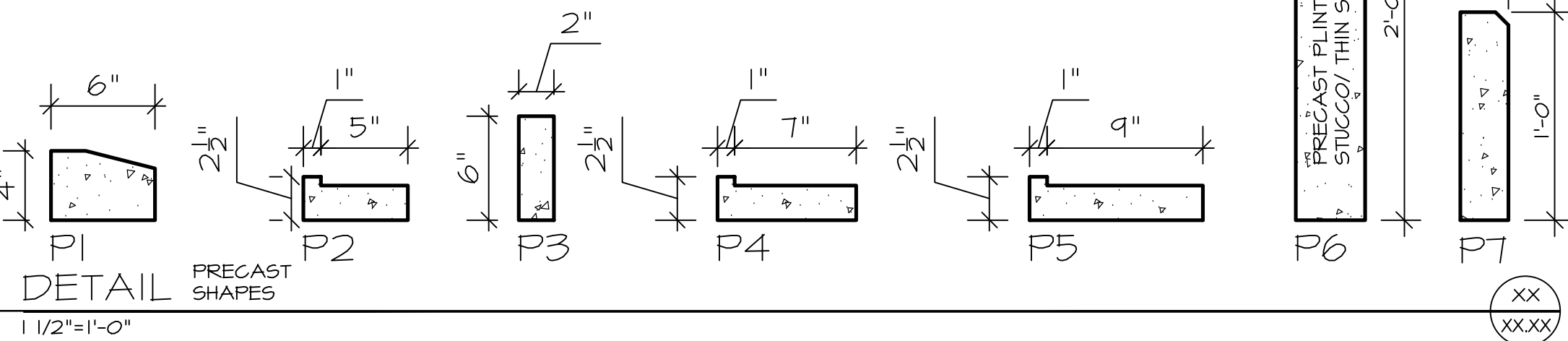
REAR ELEVATION

1/4"=1'-0"



LEFT ELEVATION

1/4"=1'-0"



DETAIL

1 1/2"=1'-0"

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PLAN DATE 01/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	01/17/26

JOB NUMBER 15-2510
DESCRIPTION FRONT AND RIGHT EXTERIOR ELEVATIONS
PLAN SHEET

A2.02

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- EXTERIOR MATERIALS
- EXTERIOR SIDING
- (S1)

EXTERIOR MATERIAL
TYPE-LP SIDING
xxx
- (S2)

EXTERIOR MATERIAL
TYPE-B&B SIDING
xxxx
- EXTERIOR VENEER
- (V1)

EXTERIOR MATERIAL
TYPE- FULL DEPTH STONE VENEER
COLOR-SIERRA FALLS DIMENSIONAL
ALT BID: GLENVEAGH BY ANTIQUITY
- (V2)

EXTERIOR MATERIAL
TYPE-THIN STONE VENEER
SPEC: SAME AS V1
- EXTERIOR TRIM
- (W)

EXTERIOR WOOD TRIM
SEE DETAIL XXXX
- (T1)

STUCCO TRIM
SEE DETAIL XXXX
- (T2)

THIN STONE TRIM
SEE DETAIL XXXX
- (T3)

LAP SIDING TRIM
SEE DETAIL XXXX
- EXTERIOR E.I.F.S. AND E.I.F.S. TRIM
- (E)

EXTERIOR MATERIAL
TYPE-EIFS FINISH SYSTEM
STUCCO
- EXTERIOR ROOFING
- (R)

EXTERIOR MATERIAL
TYPE-ASPHALT SHINGLES
ROOFING -XXXX
COLOR-TBD
- (R2)

EXTERIOR MATERIAL
TYPE-STANDING SEAM METAL
XXXX
XXXX
- EXTERIOR PRECAST SHAPES
- (P1)

EXTERIOR MATERIAL
TYPE-PRECAST STONE TOP
SEE DETAIL XXXX
COLOR-TBD
- (P2)

PRECAST SURROUND TRIM
SEE DETAIL XXXX
- EXTERIOR MATERIAL
- (P3)

EXTERIOR MATERIAL
TYPE-PRECAST CHIMNEY
SEE DETAIL XXXX
- EXTERIOR ACCESSORY
- (A1)

EXTERIOR ASSESORY
TYPE-XXXX
XXXX
- (A2)

EXTERIOR ASSESORY
TYPE-XXXX
- (A3)

EXTERIOR FASCIA
SEE DETAIL XXXX
- (A4)

EXTERIOR ASSEOSRY
TYPE-METAL CHIMNEY
SHROUD

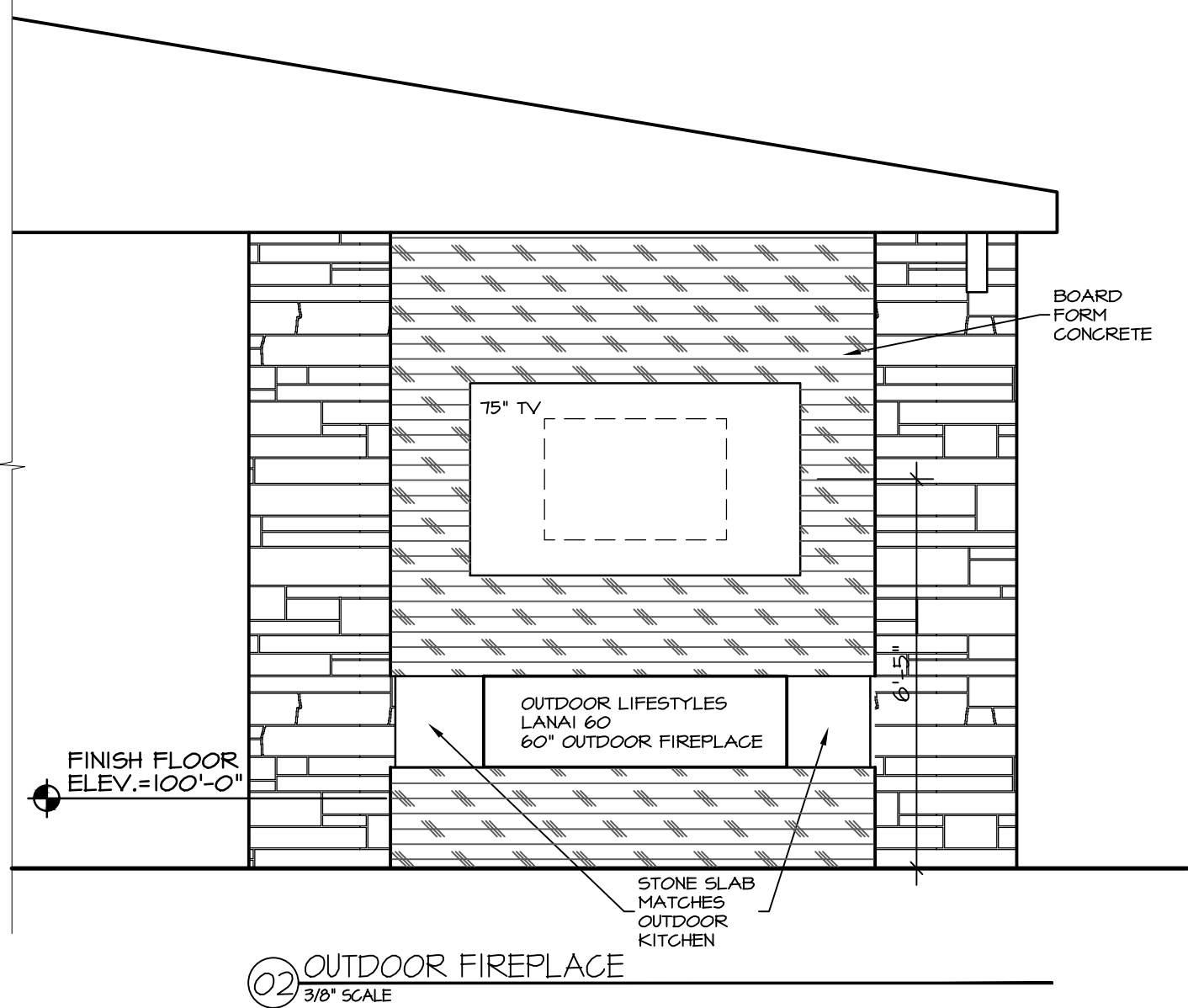
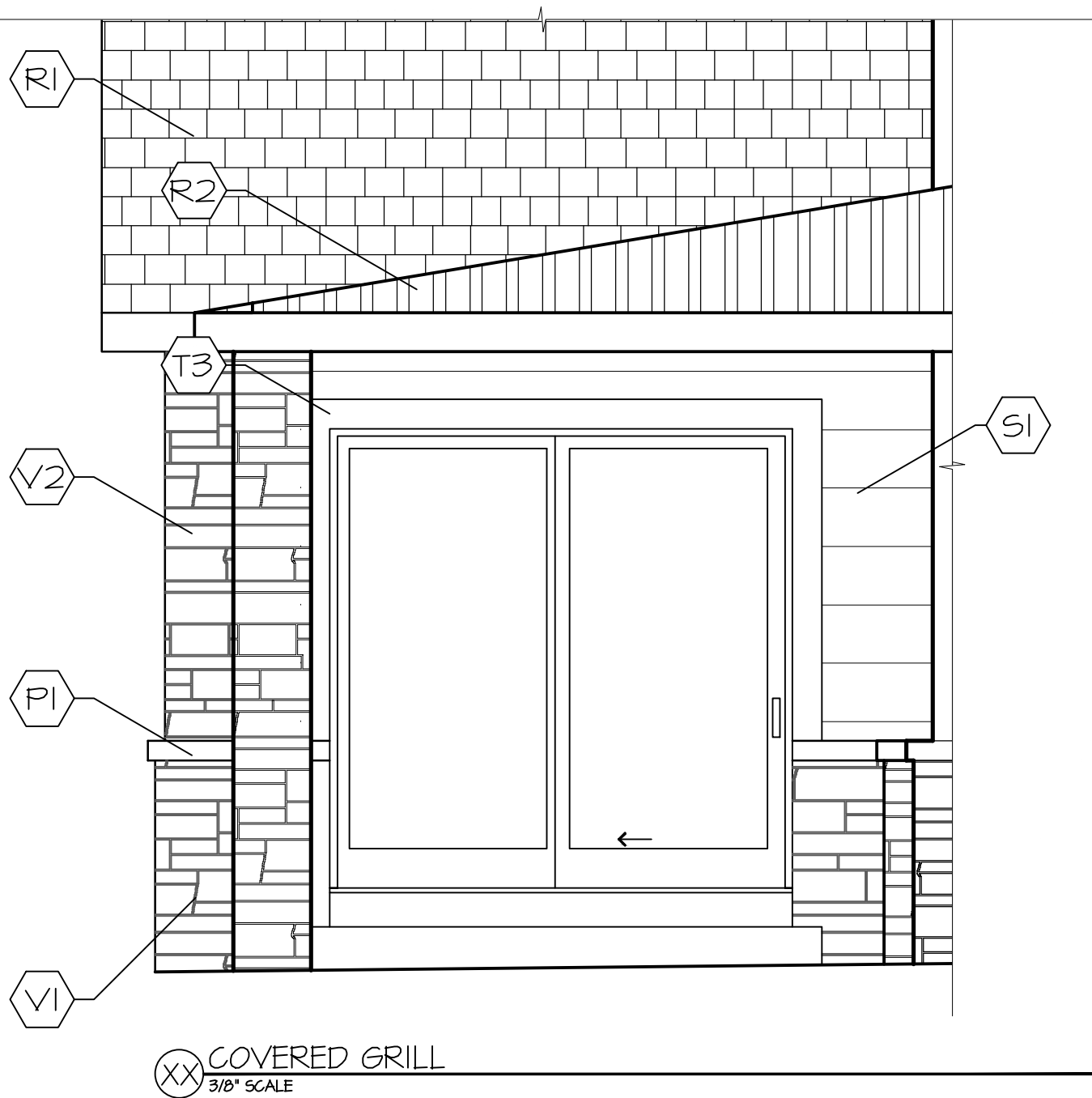
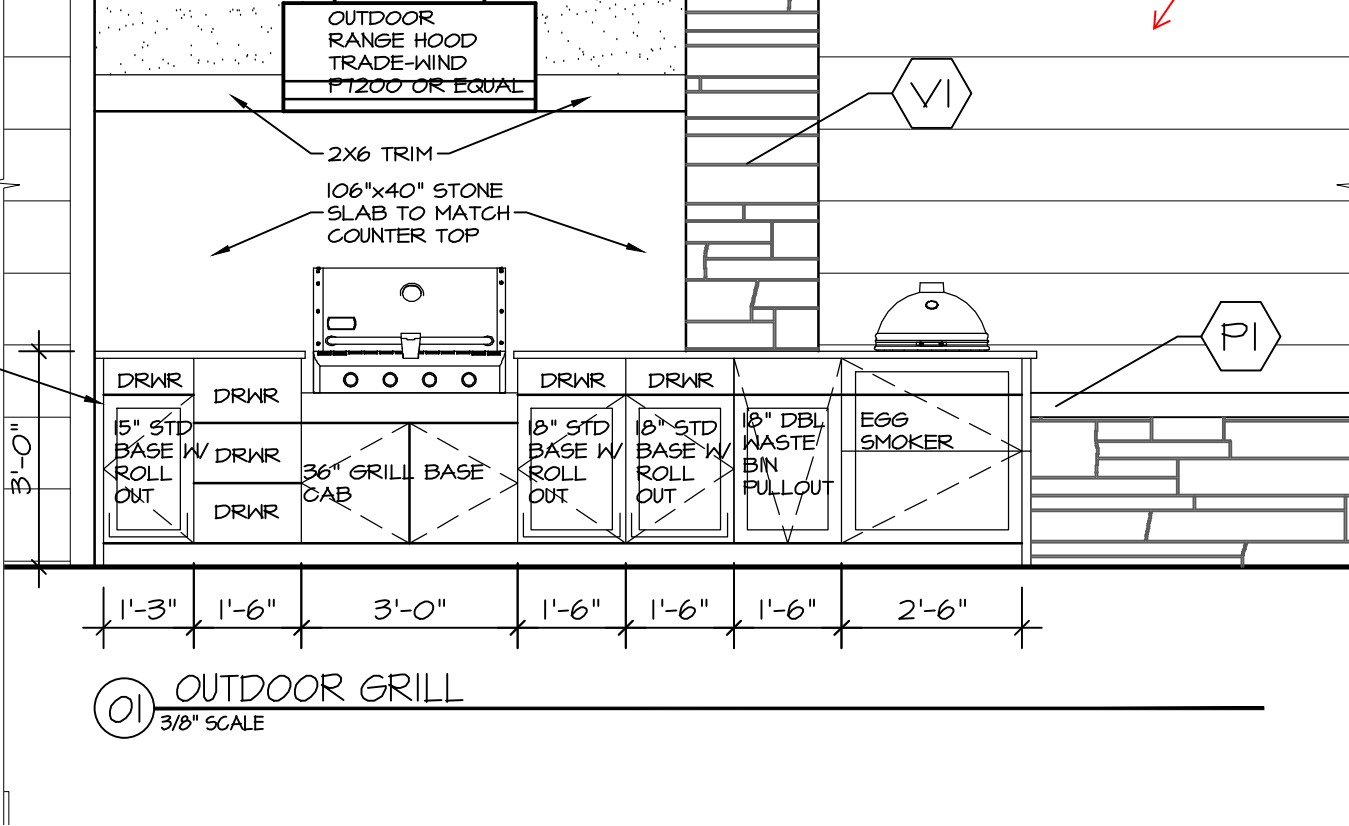
- (S1)
- (S2)
- (V1)
- (V2)
- (W)
- (T1)
- (T2)
- (T3)
- (E)
- (R1)
- (R2)
- (P1)
- (P2)
- (P3)
- (A1)
- (A2)
- (A3)
- (A4)

What's this finish?

FINISH FLOOR
ELEV.=105'-8"

FINISH FLOOR
ELEV.=100'-0"

OUTDOOR
CABINETARY



Is this actually a concrete wall?

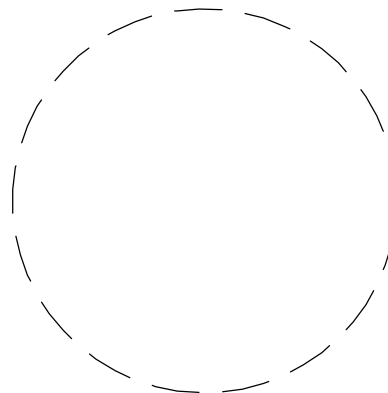
CROCKETT LOT22
RESIDENCE
1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144

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PLAN DATE 01/11/2026	
REV.	DATE
MEETING	03/18/26
HEARTHWOOD	05/06/26
PRELIM BID	01/11/26

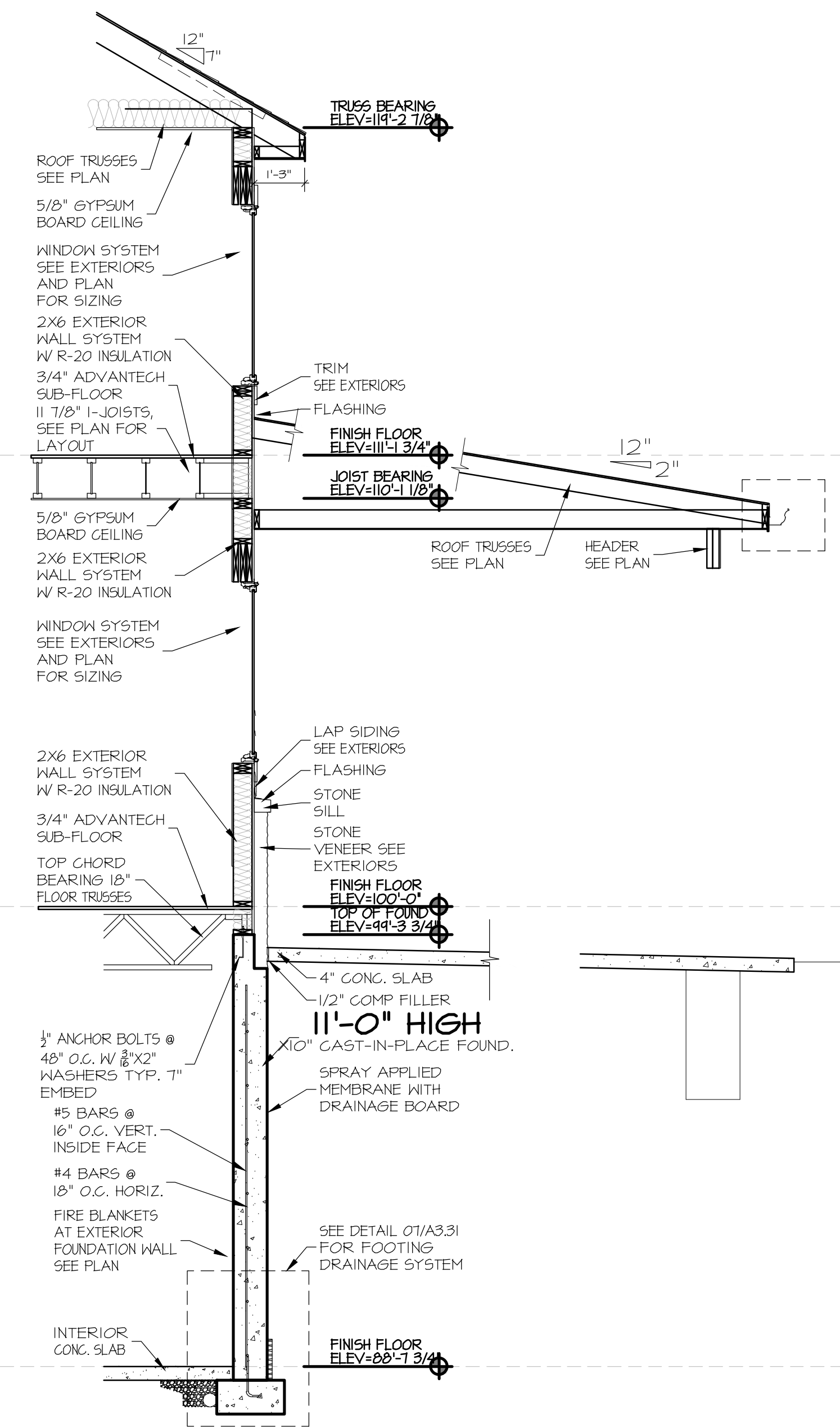


JOB NUMBER
15-2510
DESCRIPTION
OBSCURE EXTERIOR ELEVATIONS
PLAN SHEET

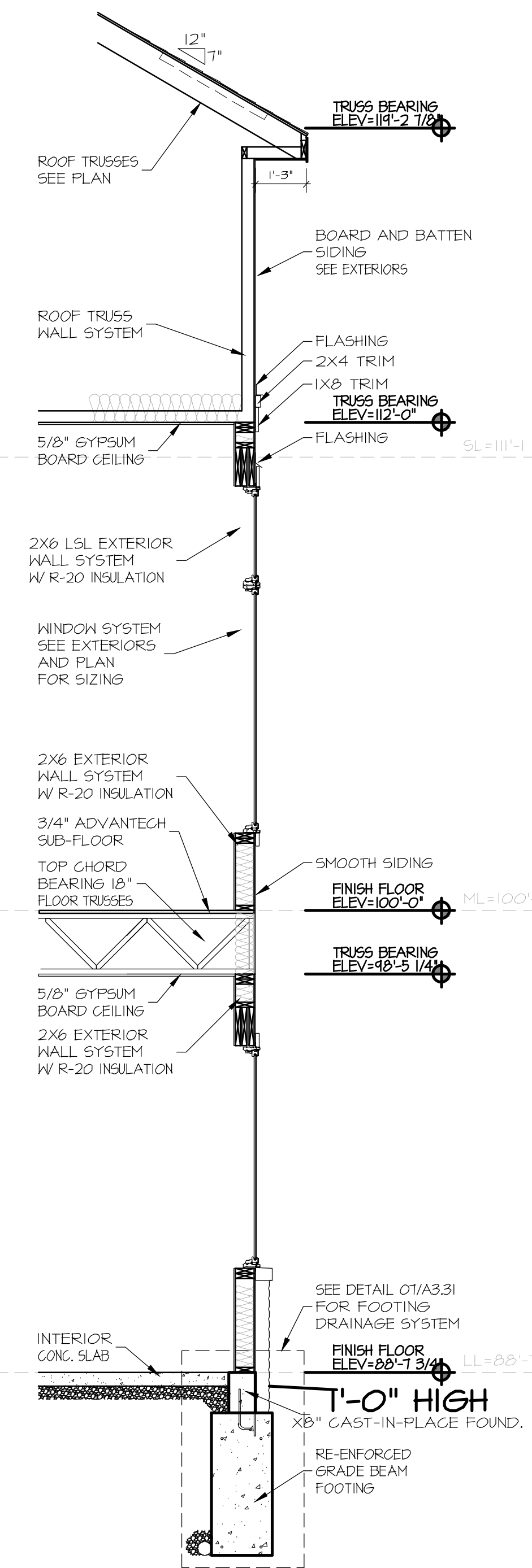
A2.03

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D:\MCNEIL COMPANY DROPBOX\KENT RASMUSSEN\McNEIL DESIGN\RESIDENTIAL\15-2510 CROCKETT HEARTWOOD LOT22\A3 SECTION.DWG
HOME PAGE: A3.01



SECTION 01
3/8"=1'-0"



SECTION 02
3/8"=1'-0"

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REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	01/17/26

JOB NUMBER
15-2510
DESCRIPTION
WALL SECTIONS
PLAN SHEET

A3.01

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PLAN DATE 07/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26

--	--

JOB NUMBER
15-2510
DESCRIPTION
INTERIOR ELEVATIONS
PLAN SHEET

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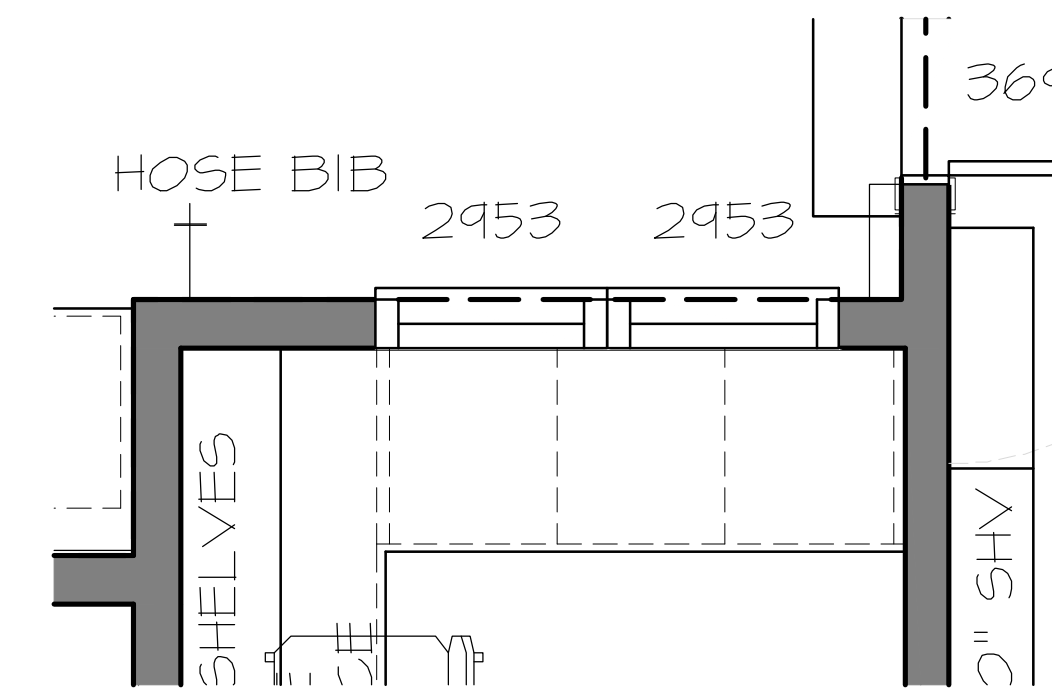
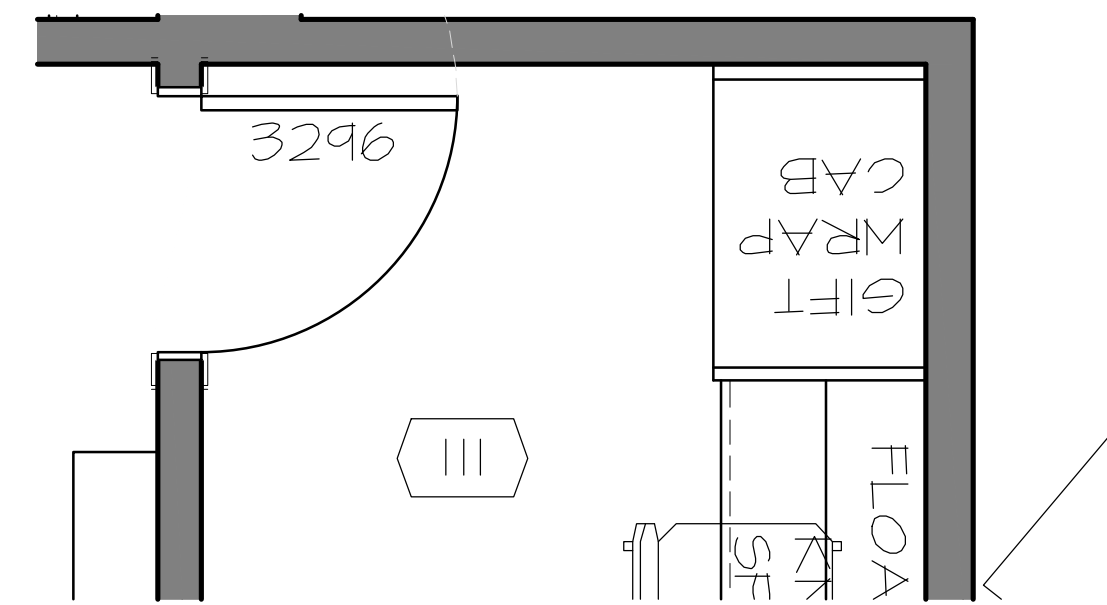
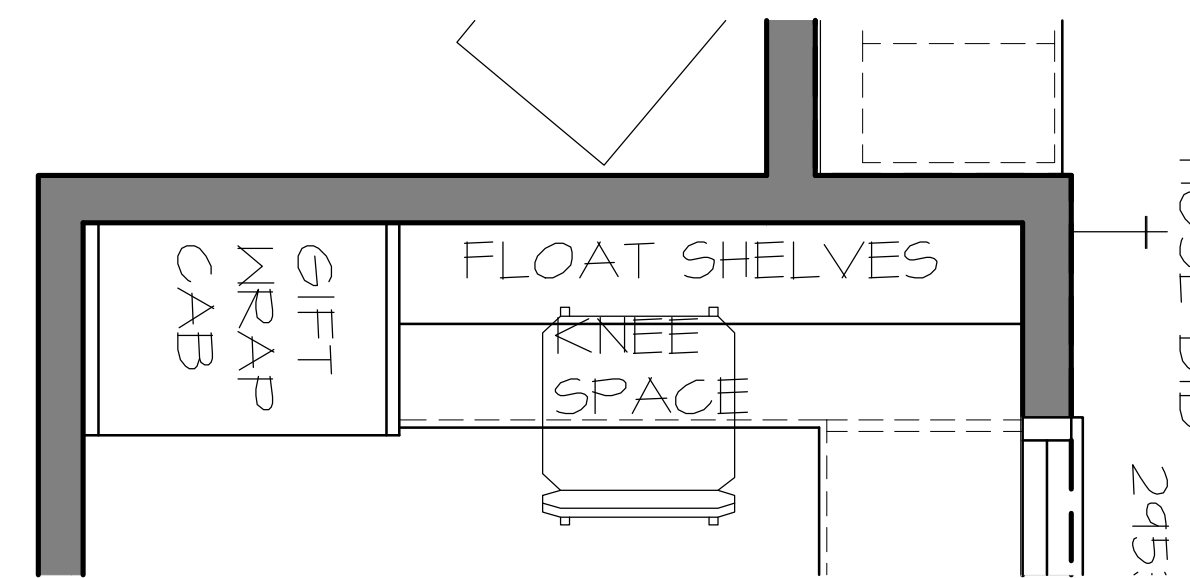
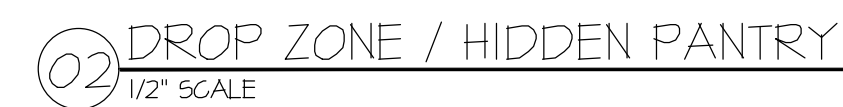
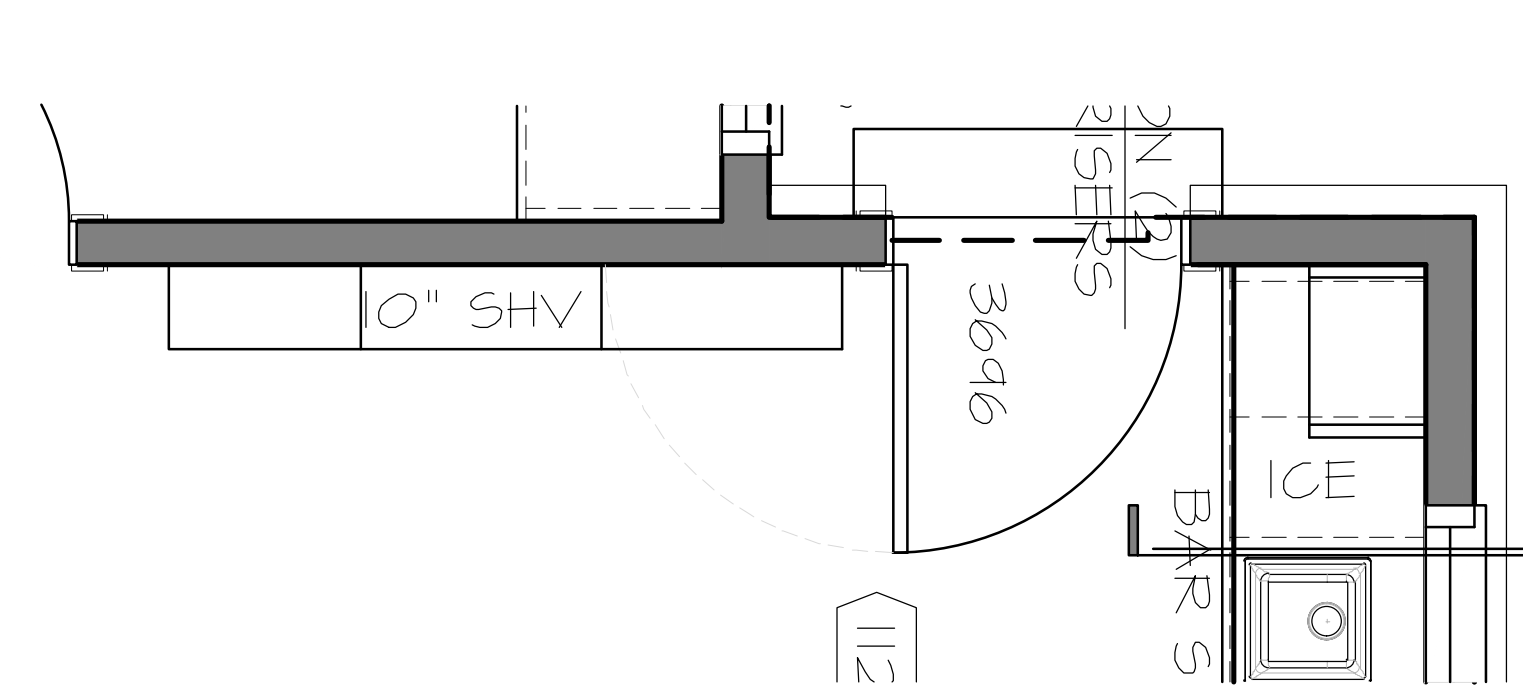
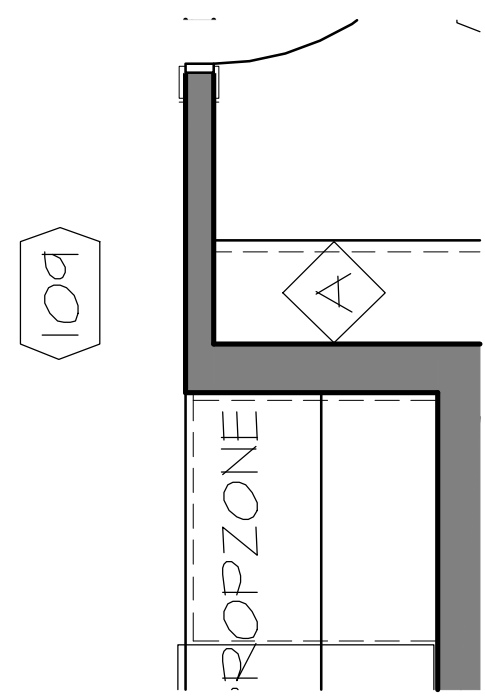
1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144

PLAN DATE 07/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26

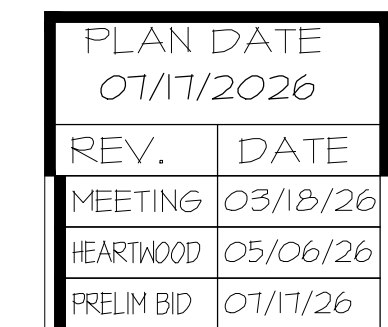
JOB NUMBER
15-2510
DESCRIPTION
INTERIOR ELEVATIONS
PLAN SHEET

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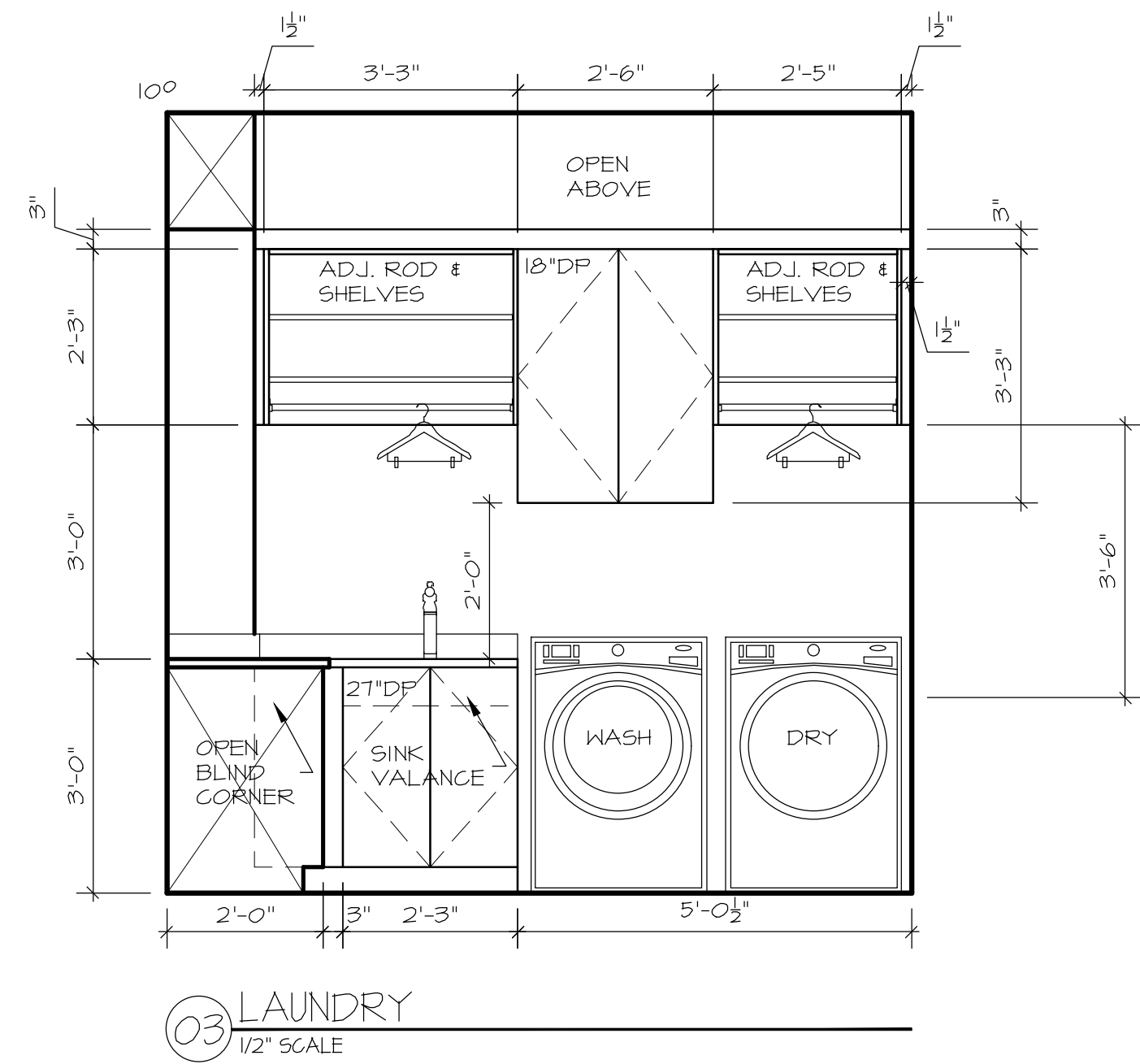
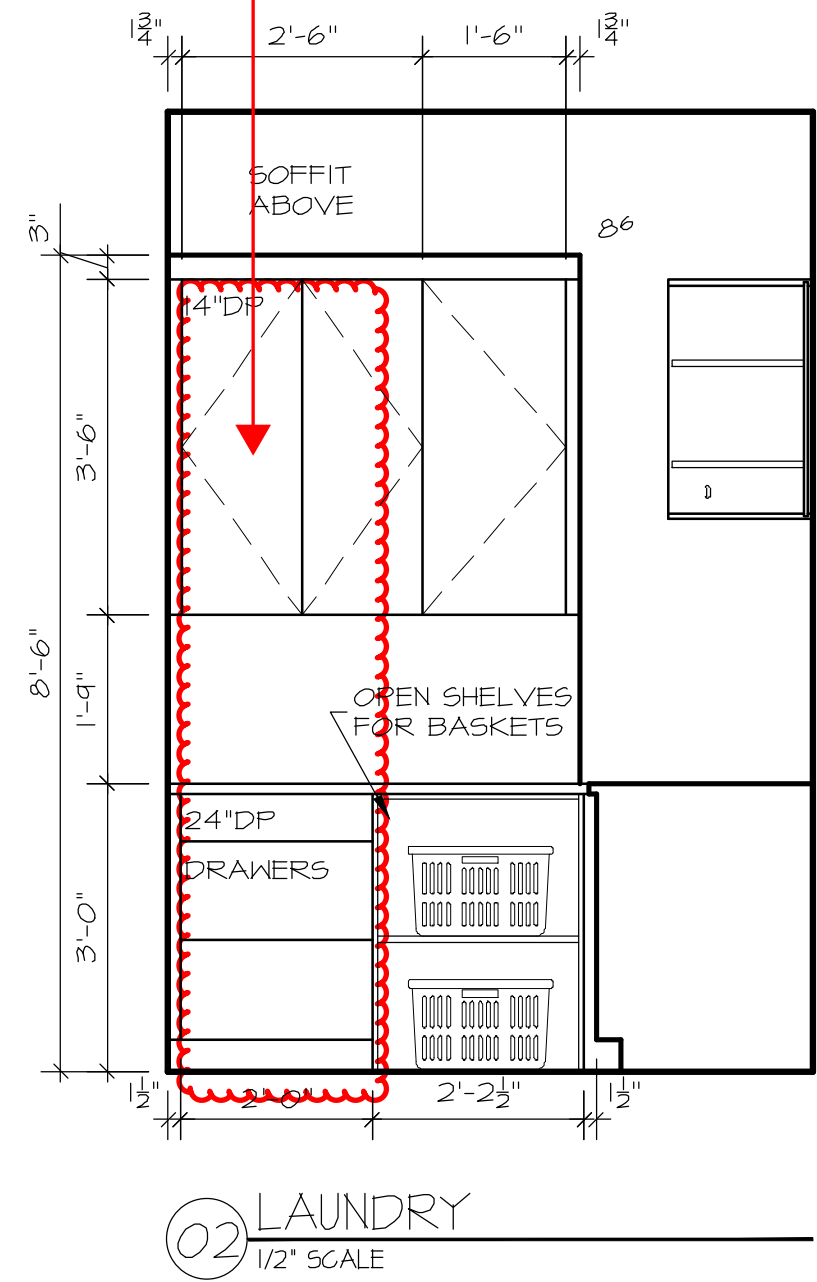
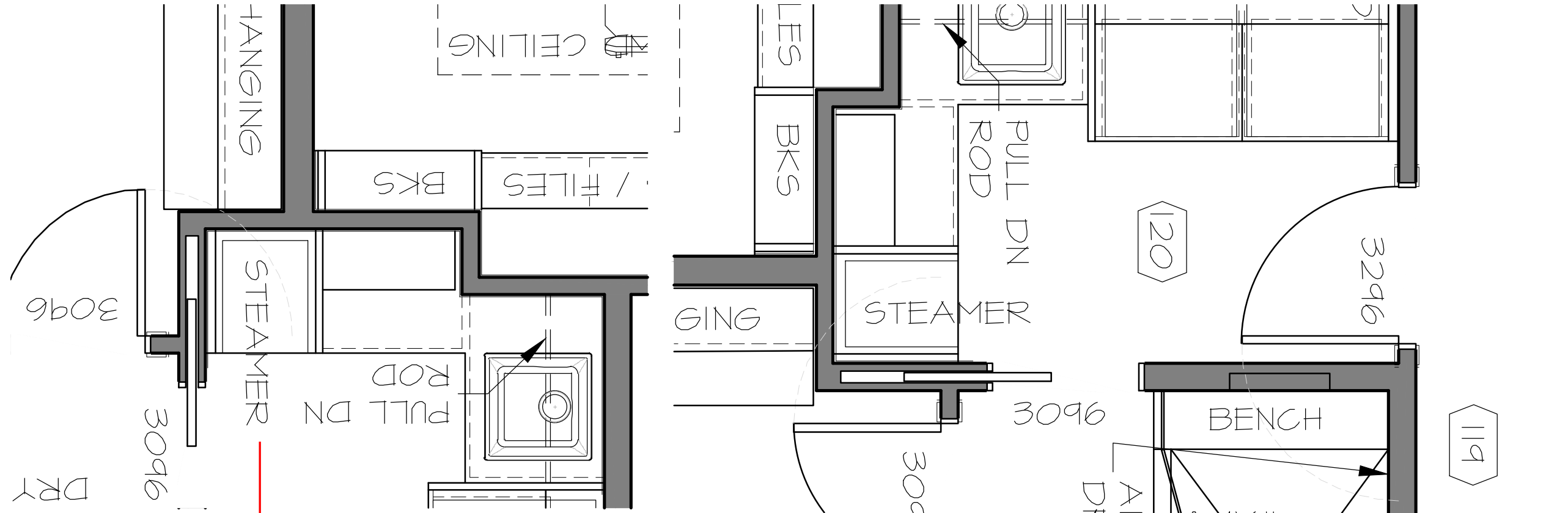
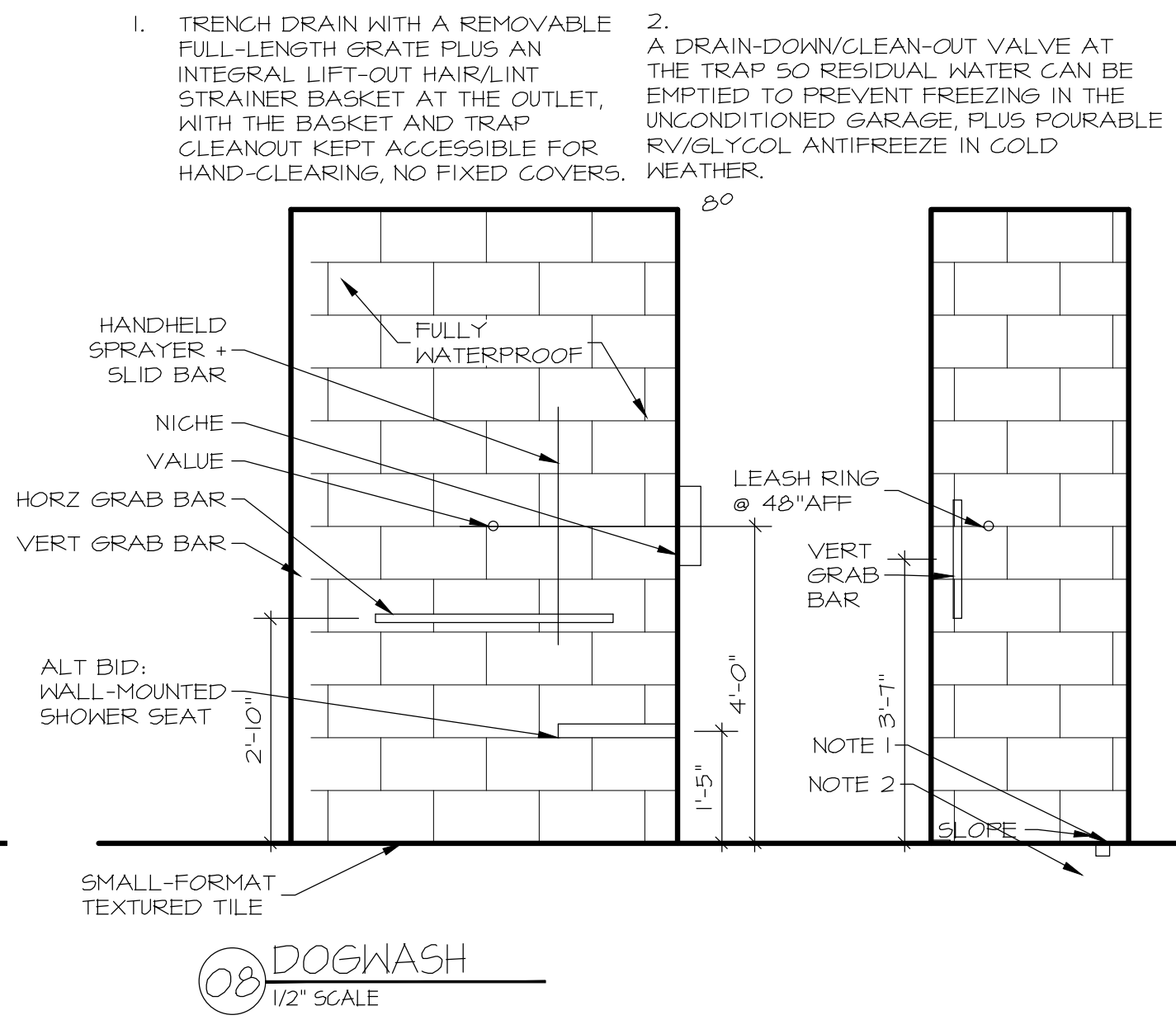
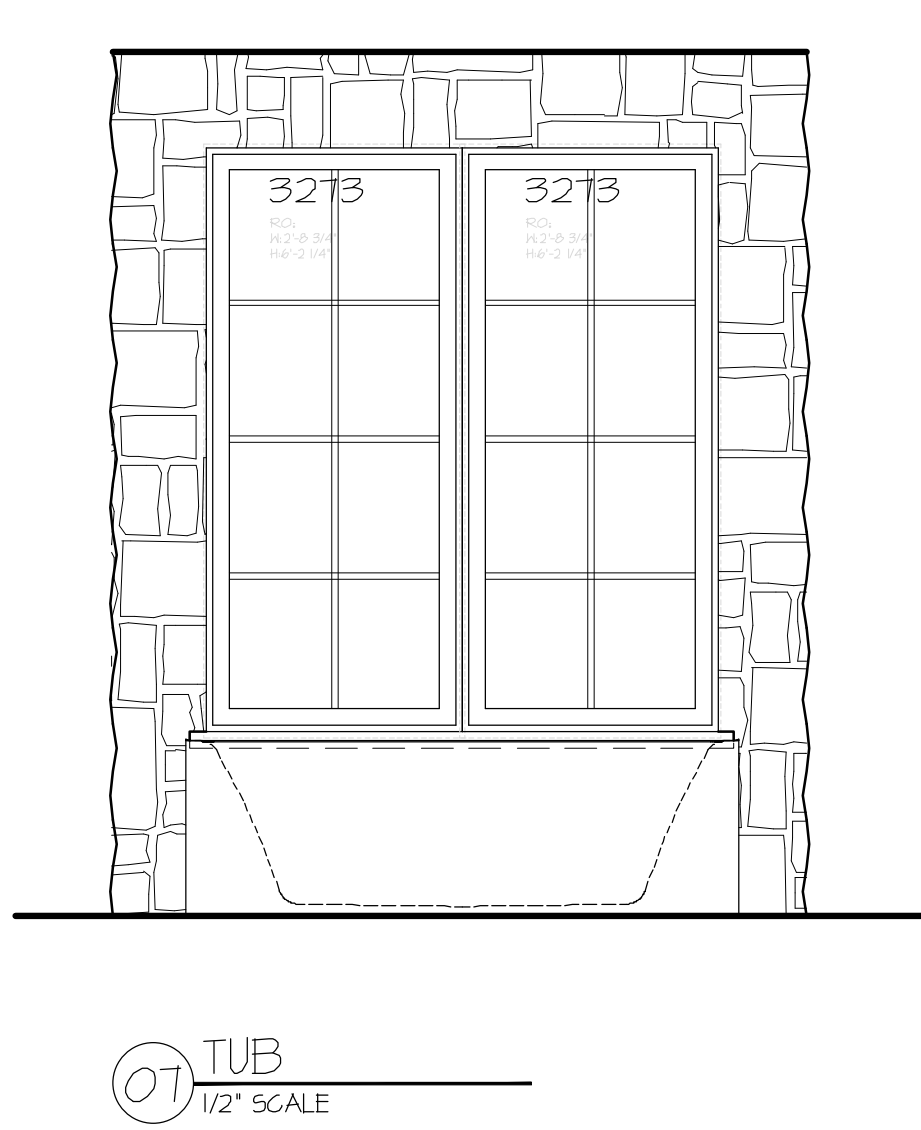
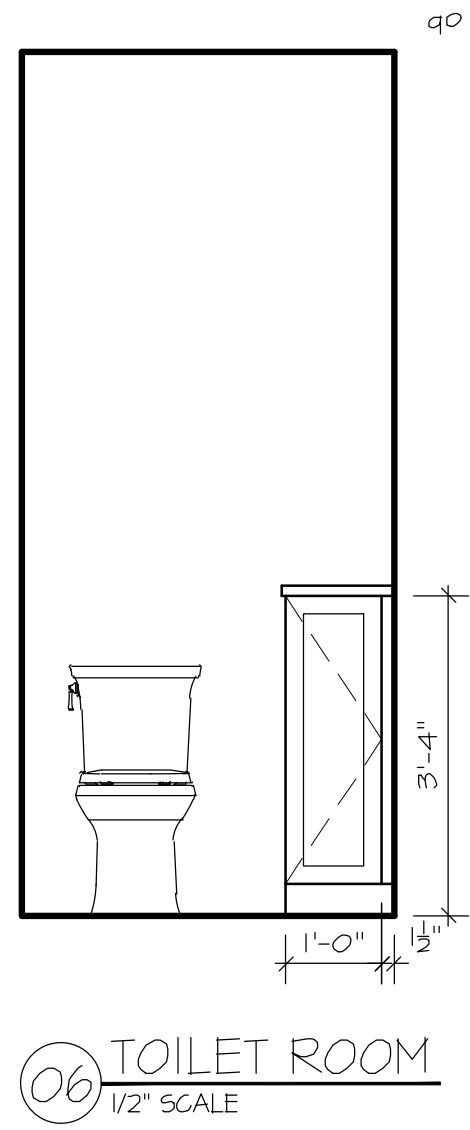
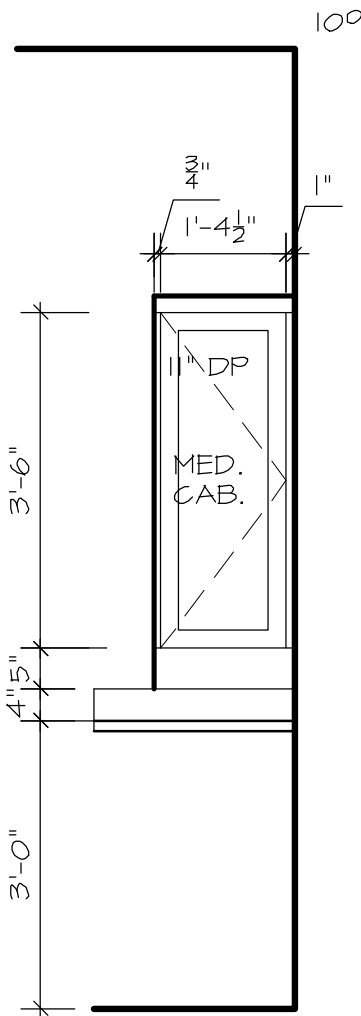
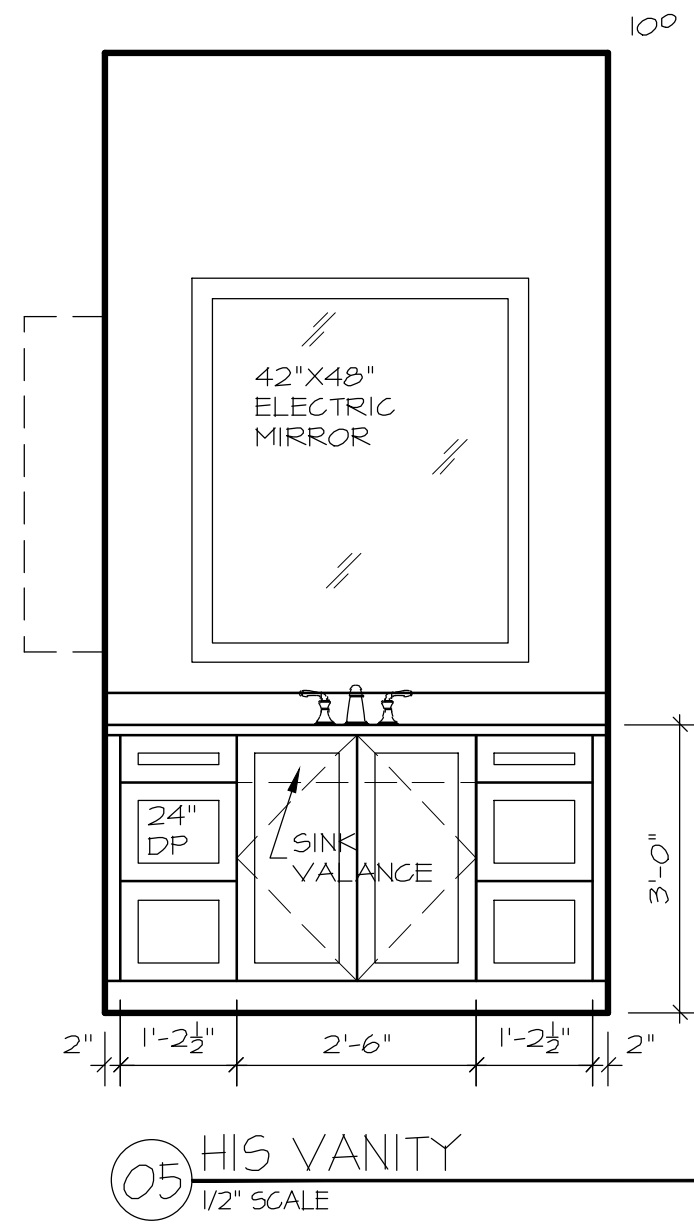
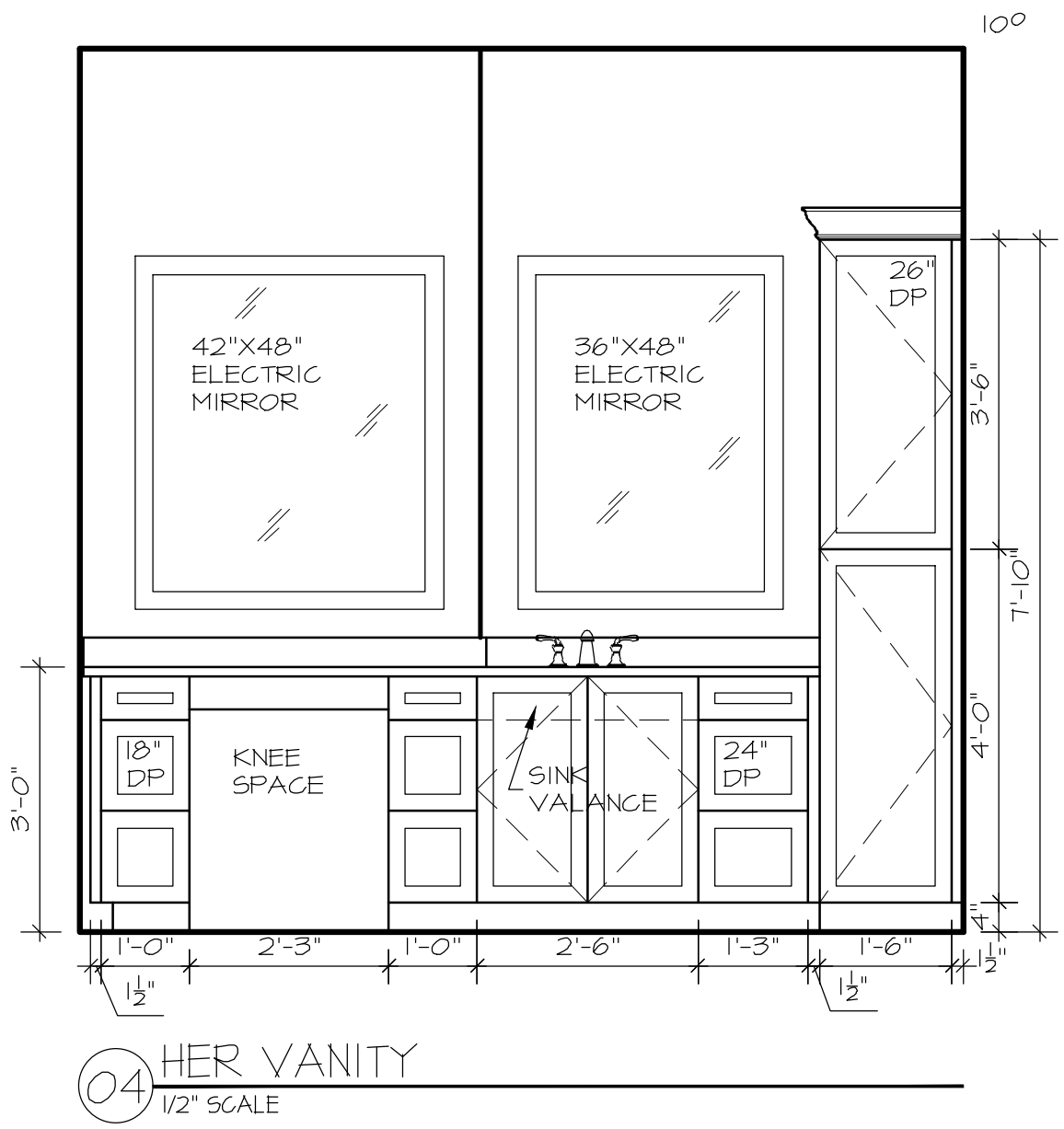
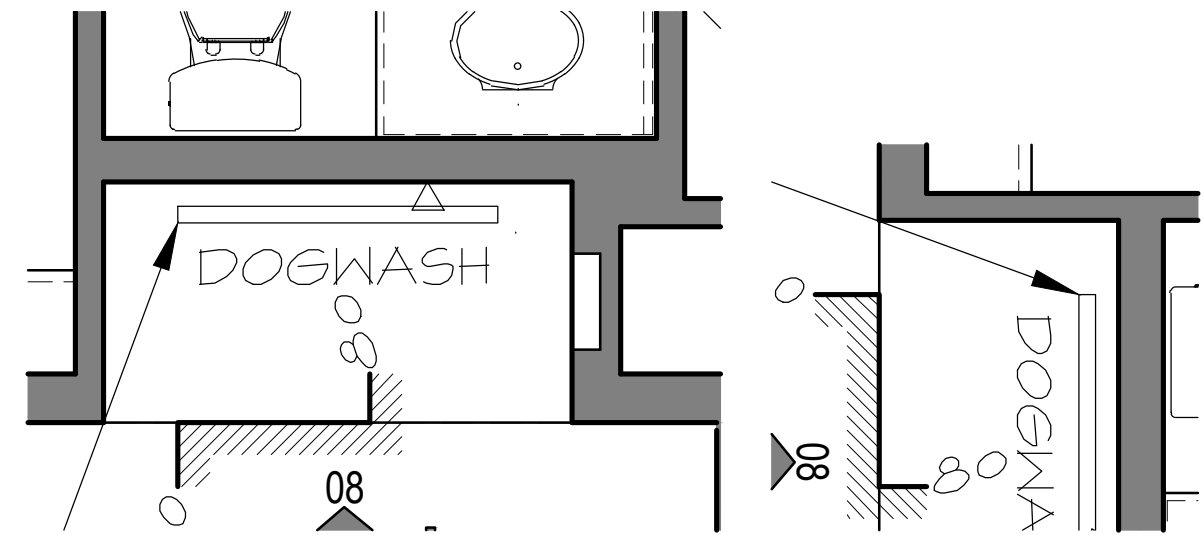
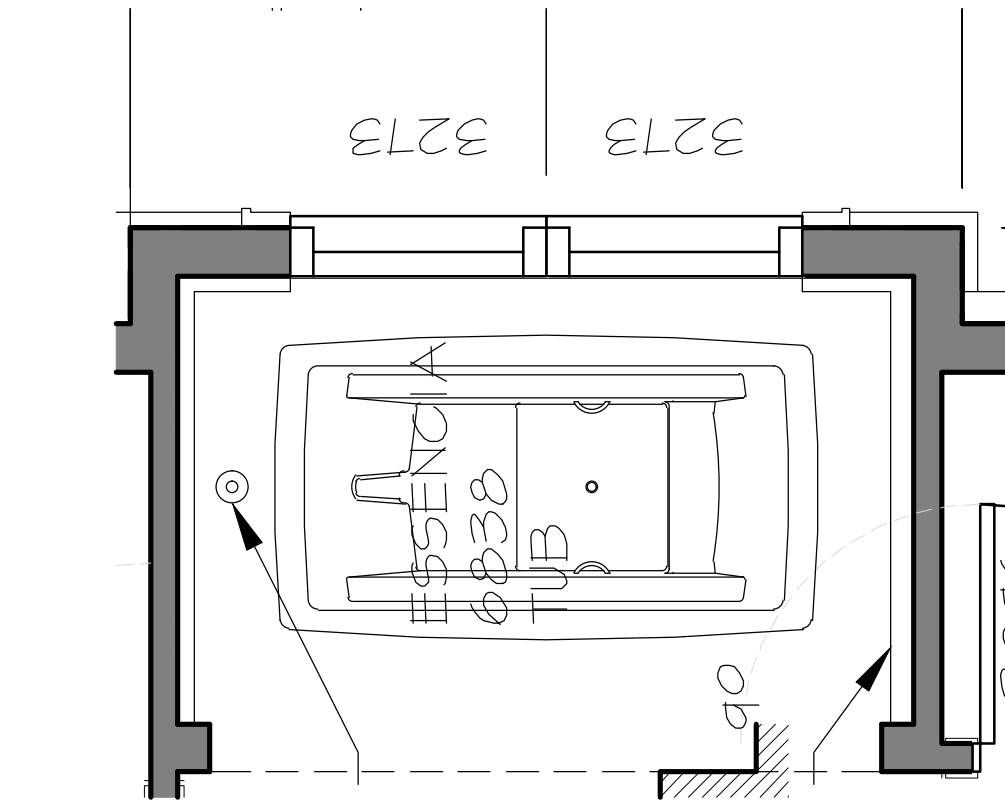
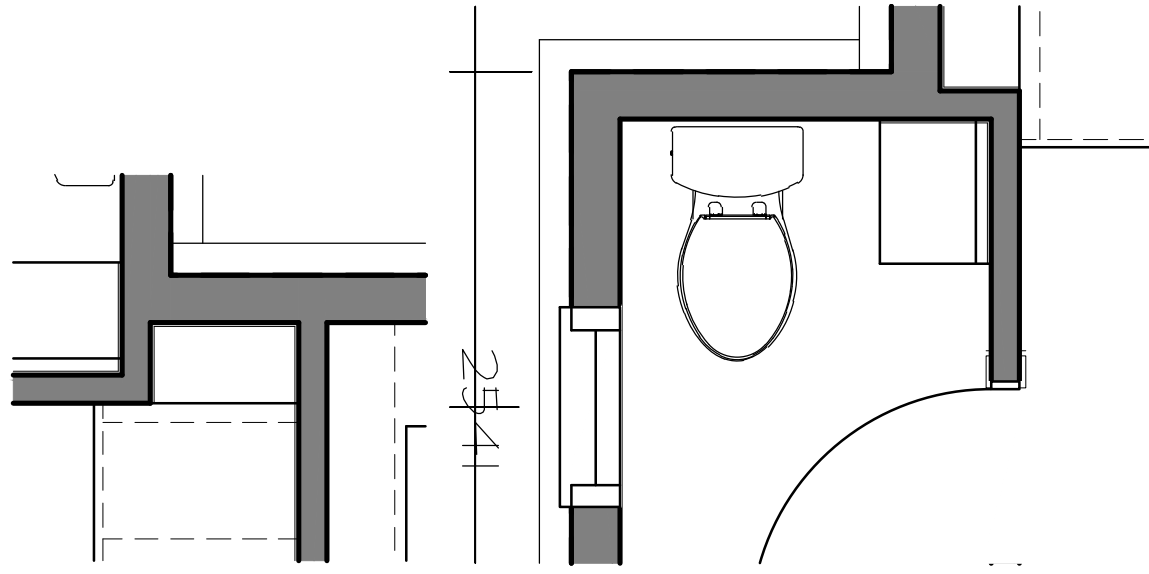
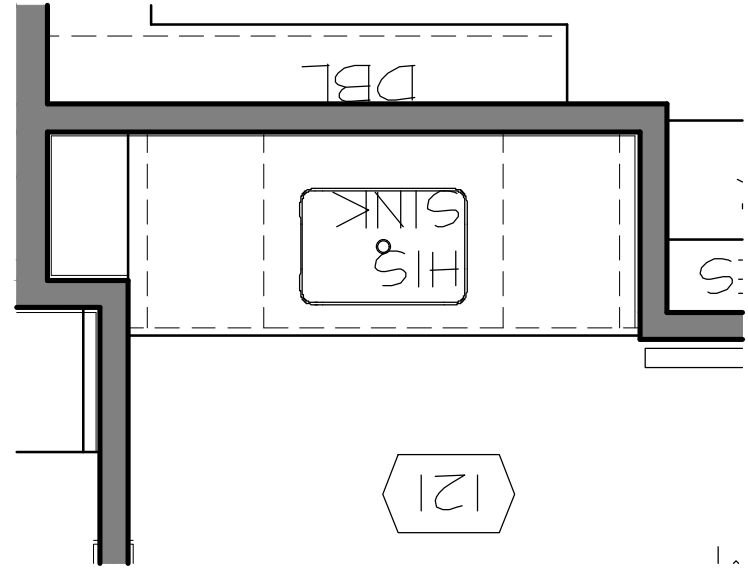
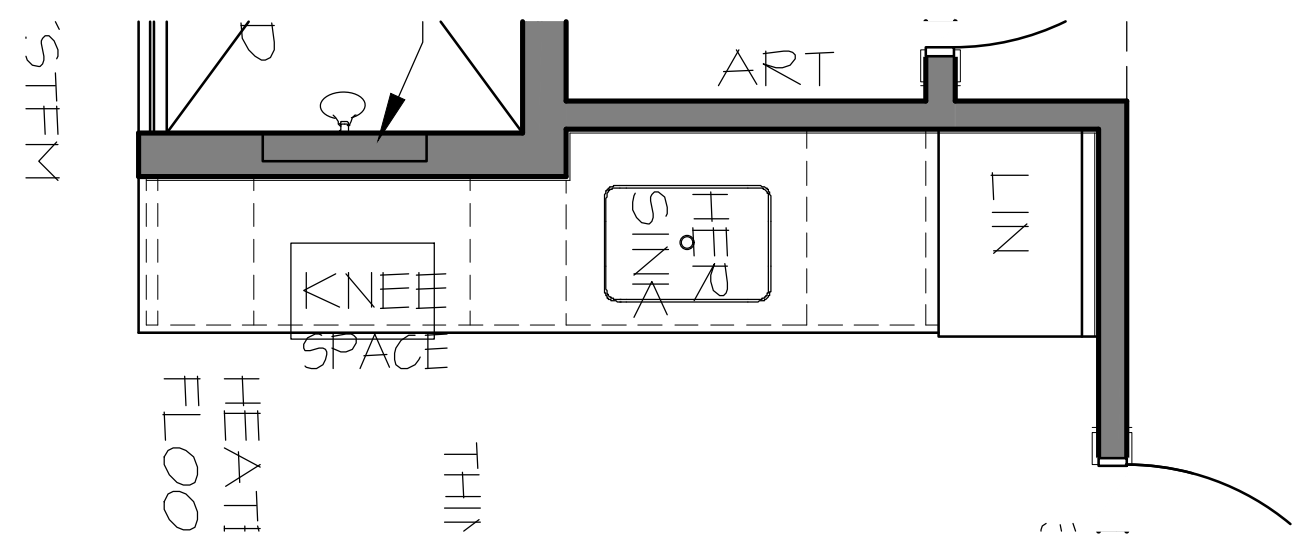
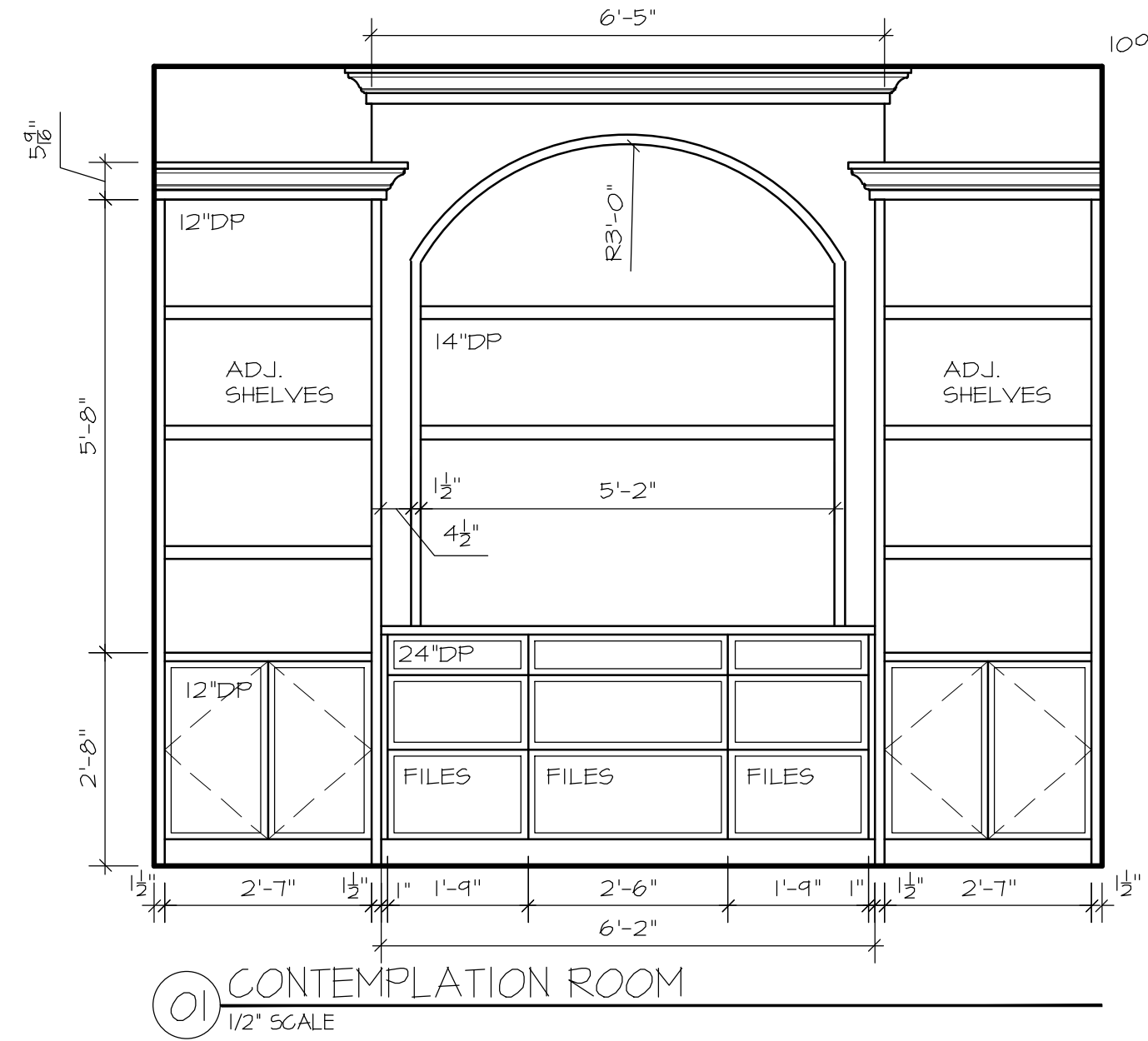
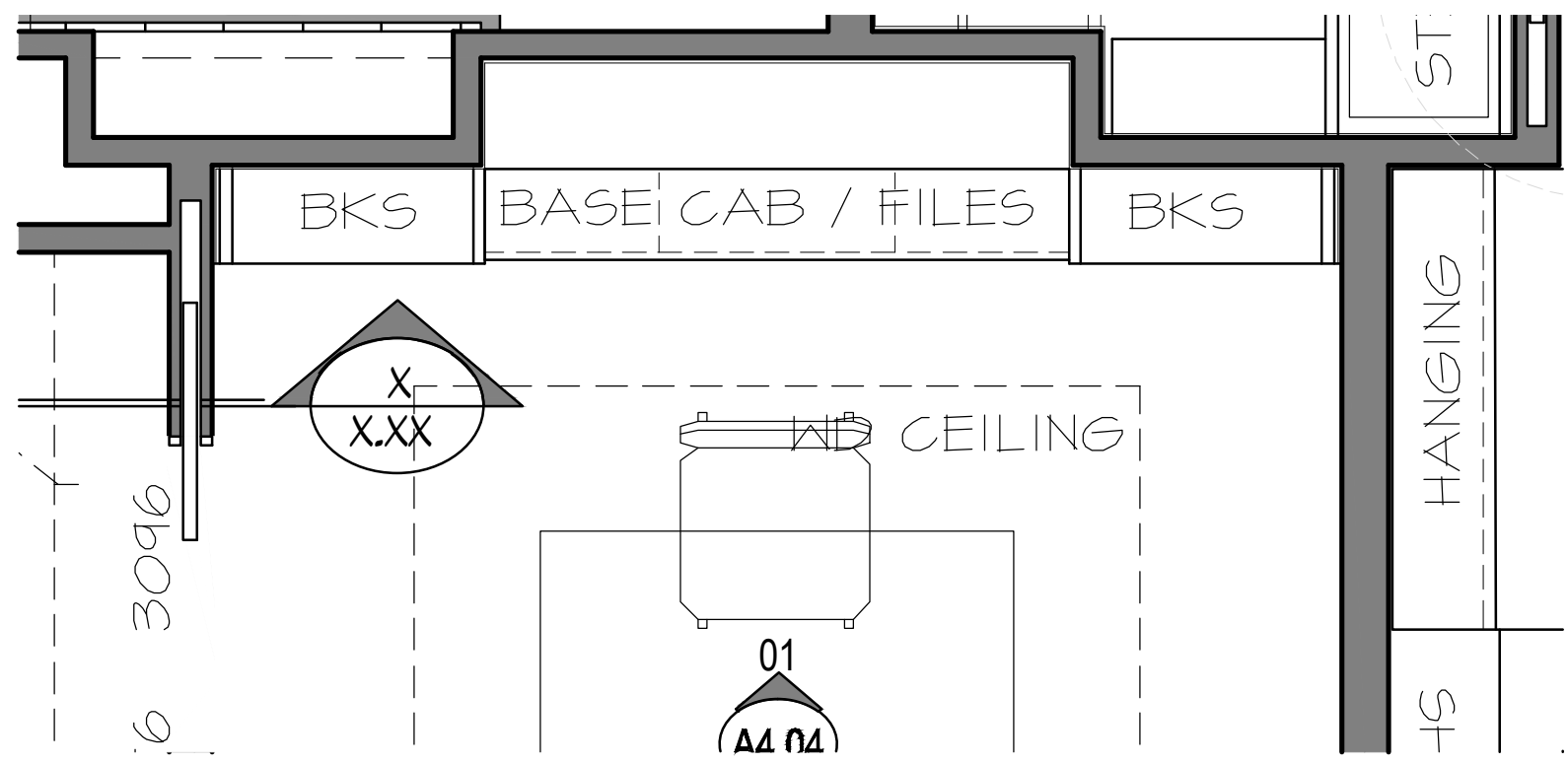


1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144



JOB NUMBER
15-2510
DESCRIPTION
INTERIOR ELEVATIONS
PLAN SHEET
A4.03

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CROCKETT LOT22
RESIDENCE

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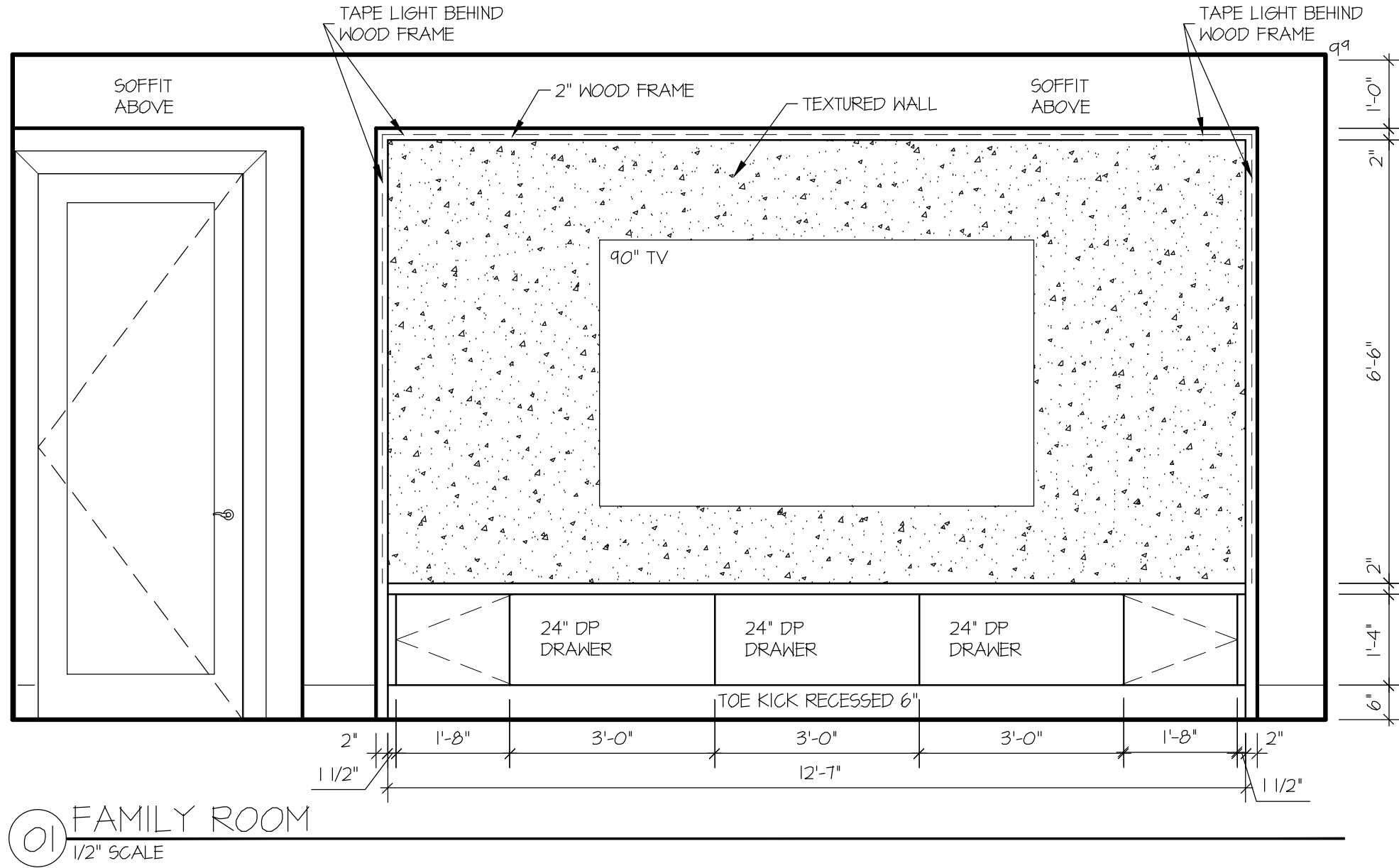
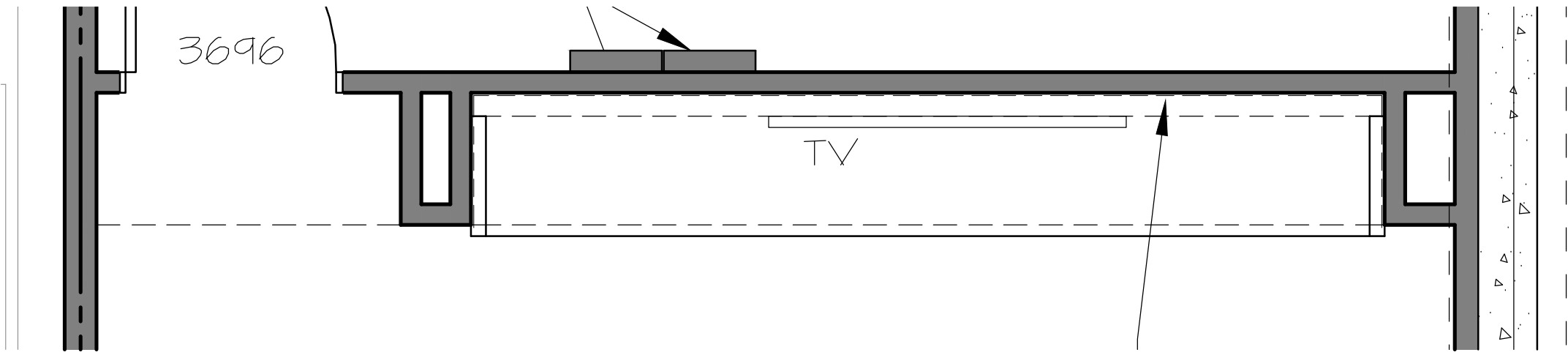
PLAN DATE 07/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26

JOB NUMBER
15-2510
DESCRIPTION
INTERIOR ELEVATIONS

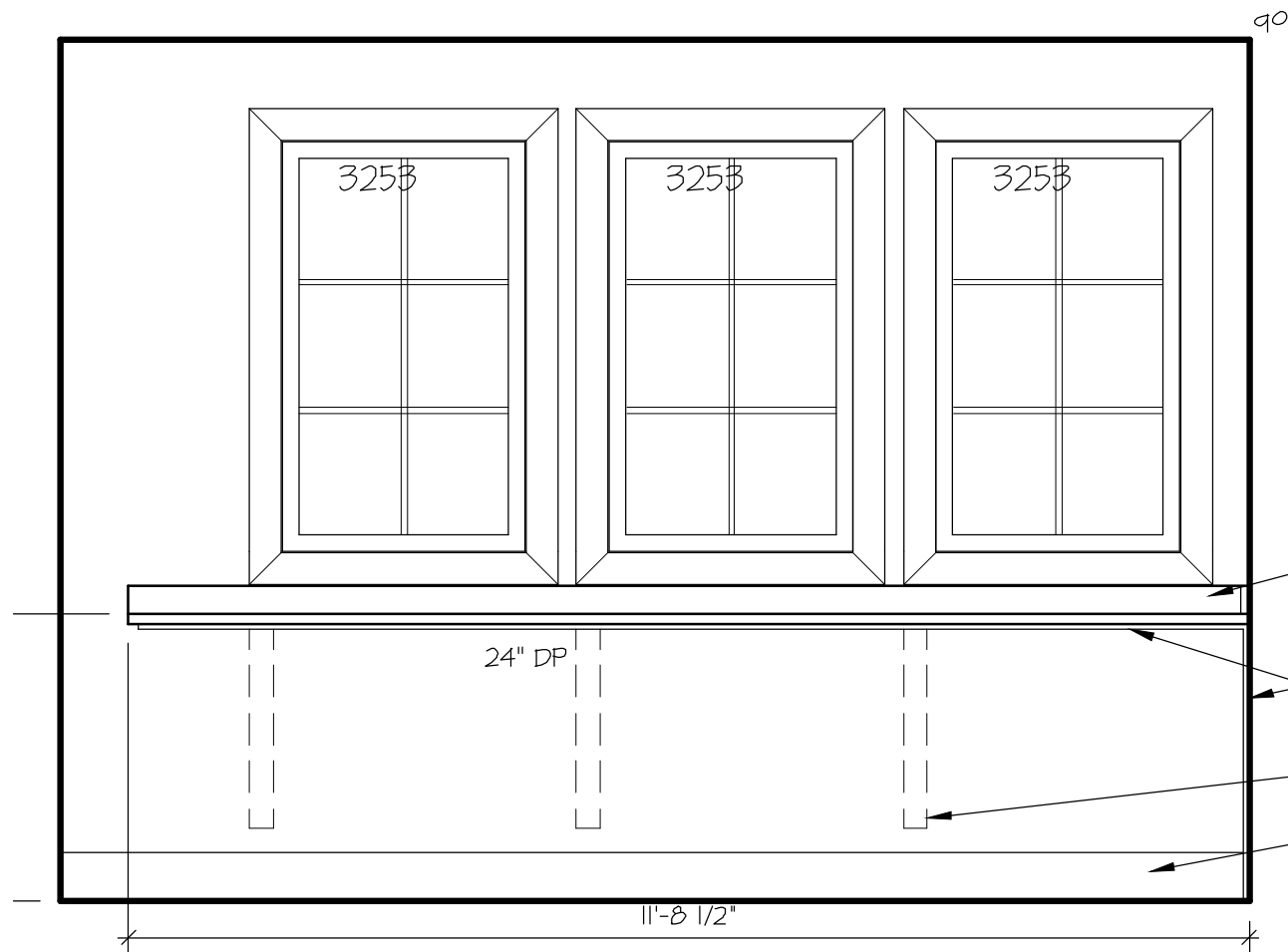
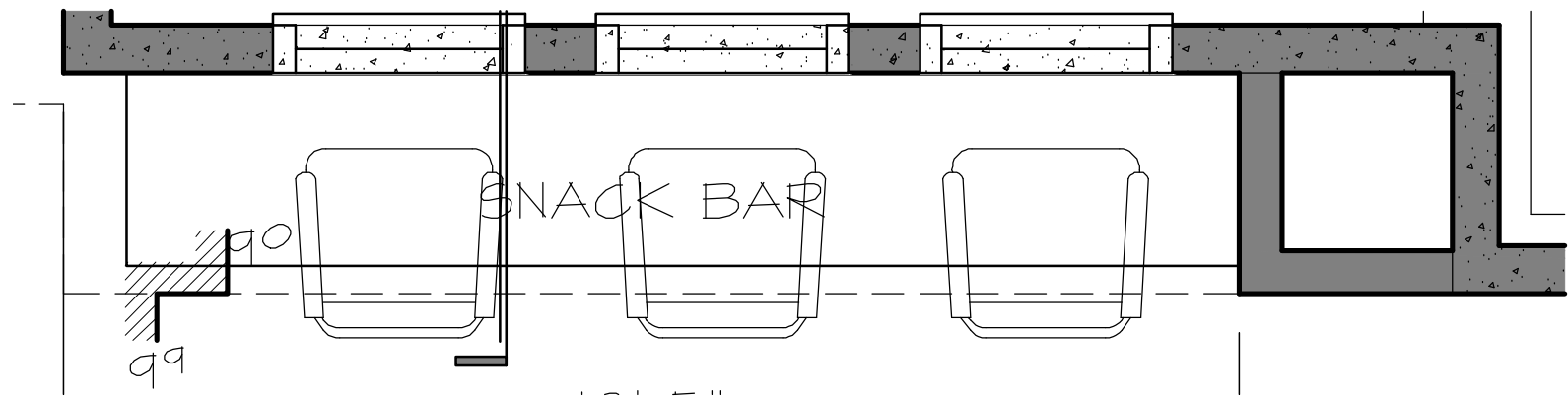
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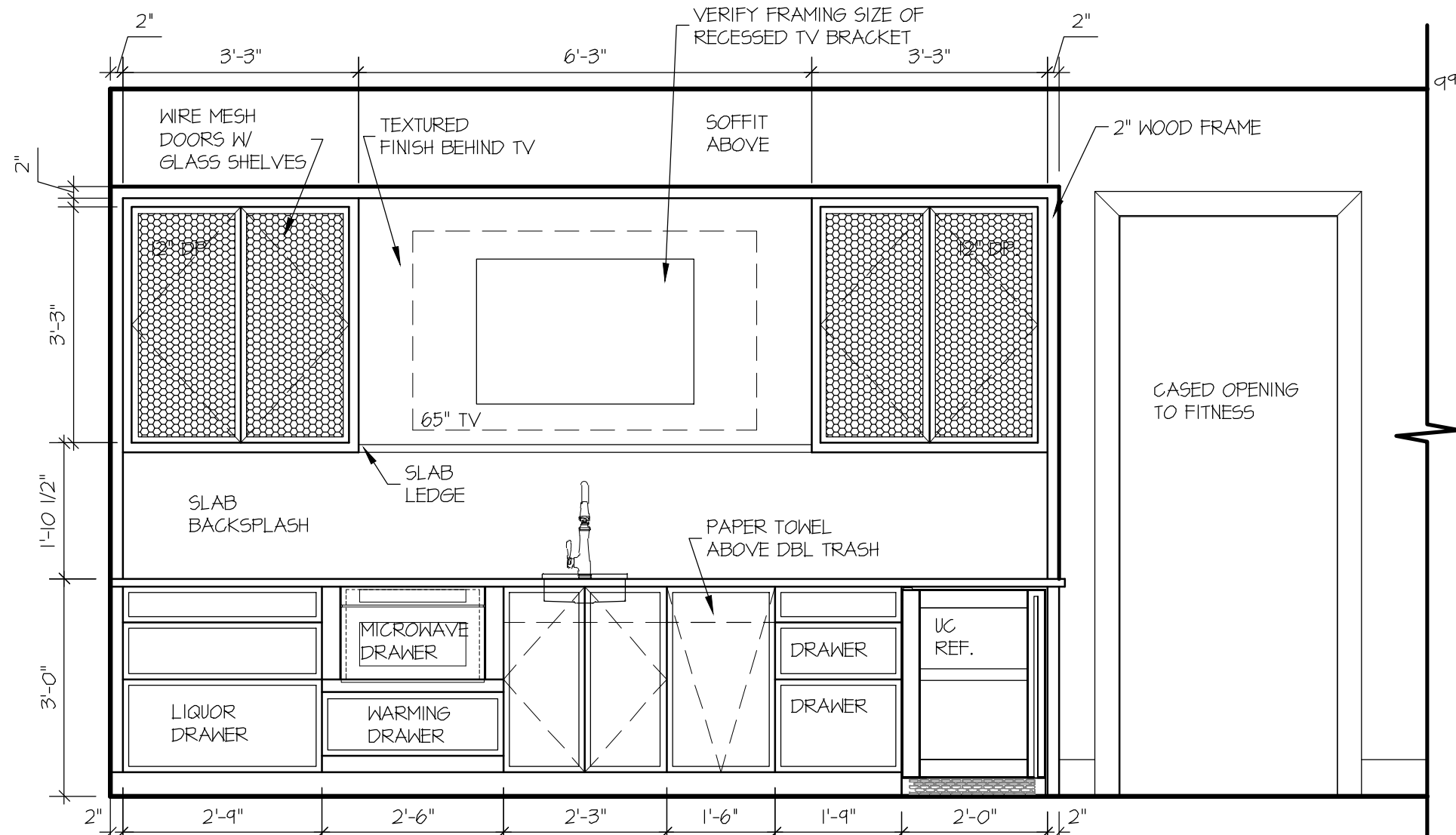
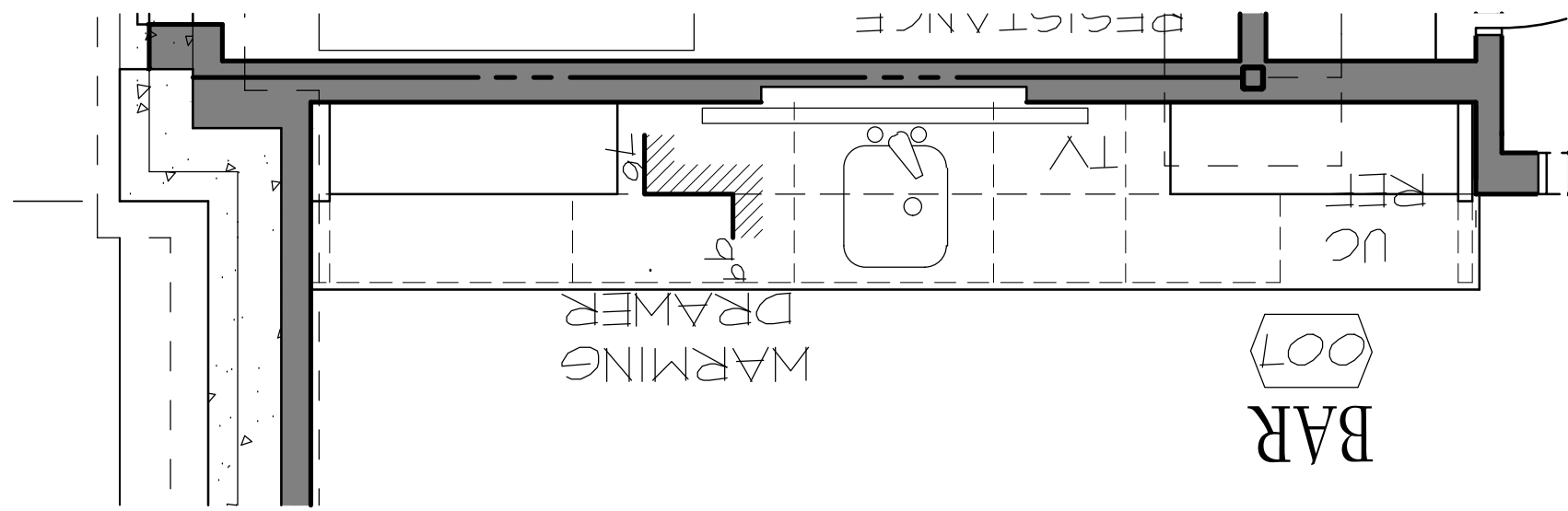
PLOT DATE: 1/17/2026
D:\MCNEIL COMPANY DROPBOX\KENT RASMUSSEN\McNEIL DESIGN\RESIDENTIAL\15-2510 CROCKETT HEARTWOOD LOT22\A4 INTERIOR.DWG
HOME PAGE: A4.01



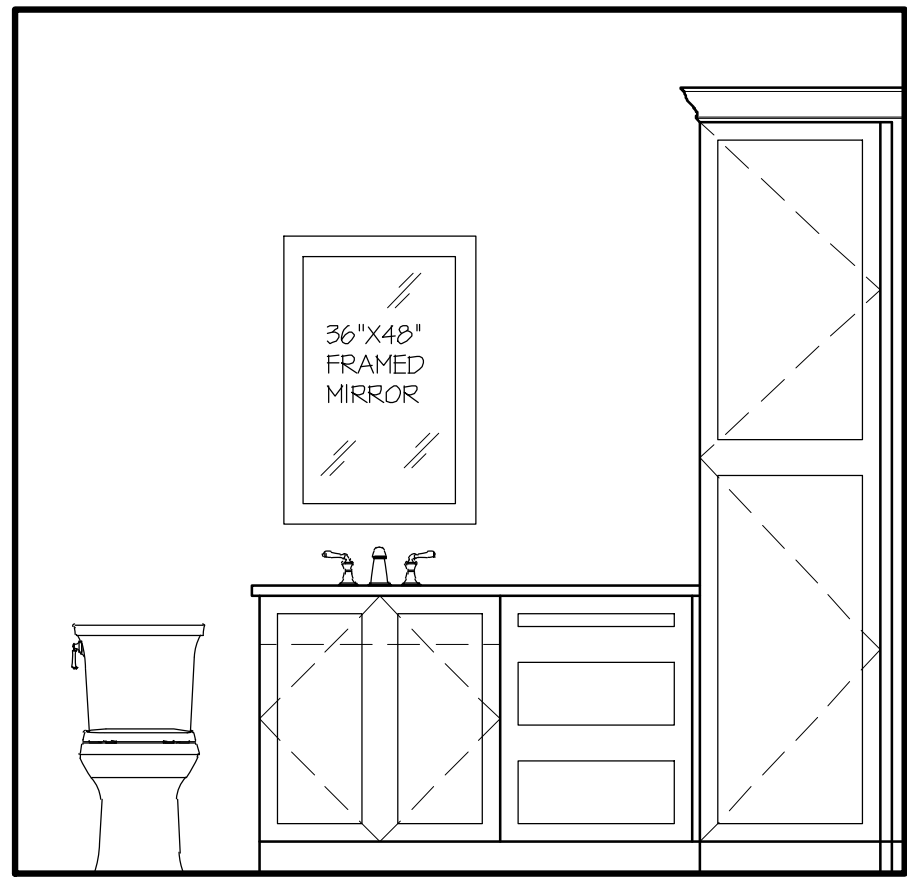
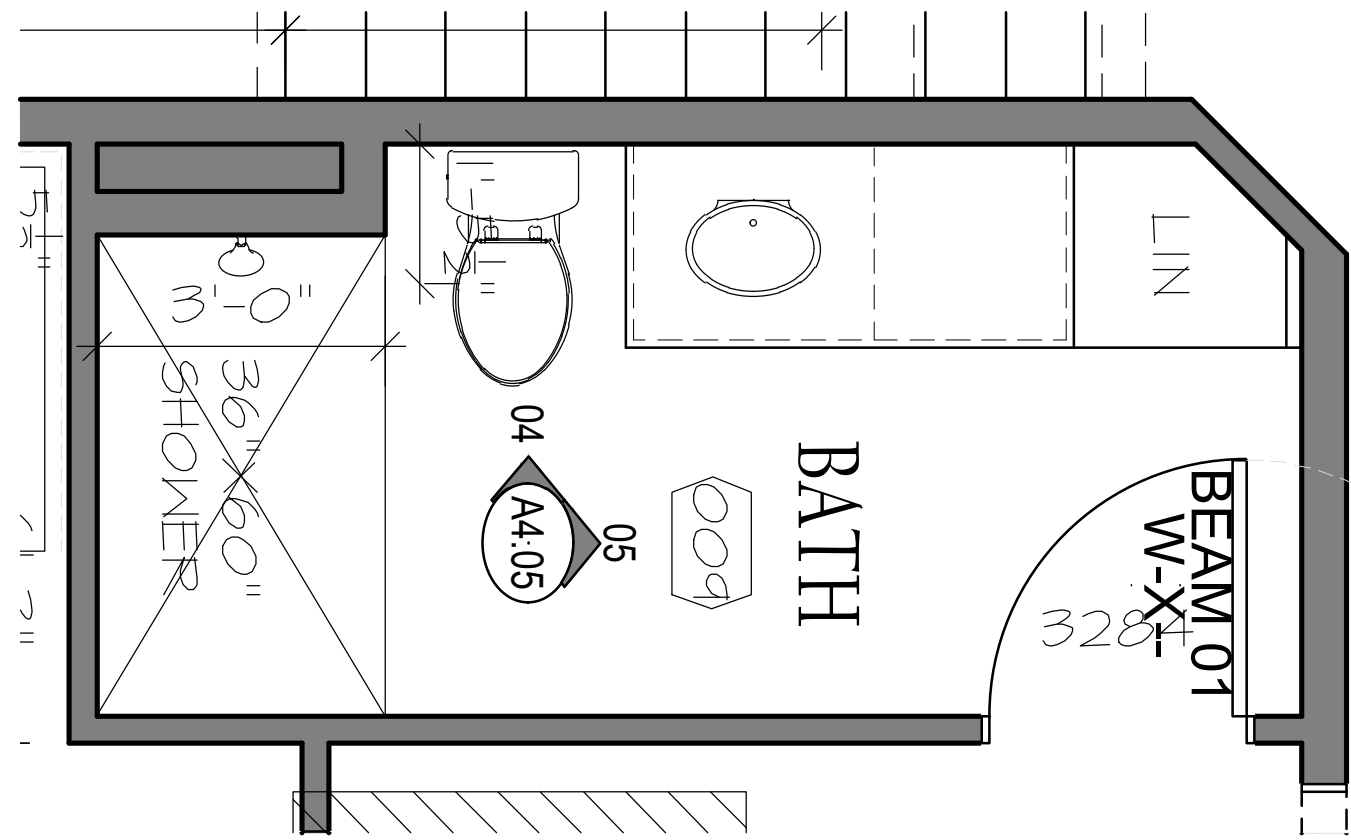
01 FAMILY ROOM
1/2" SCALE



02 SNACK BAR
1/2" SCALE



03 BAR
1/2" SCALE



04 ROOM
1/2" SCALE

CROCKETT LOT22
RESIDENCE

1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144

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PLAN DATE	01/17/2026
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26

JOB NUMBER
15-2510
DESCRIPTION
INTERIOR
ELEVATIONS

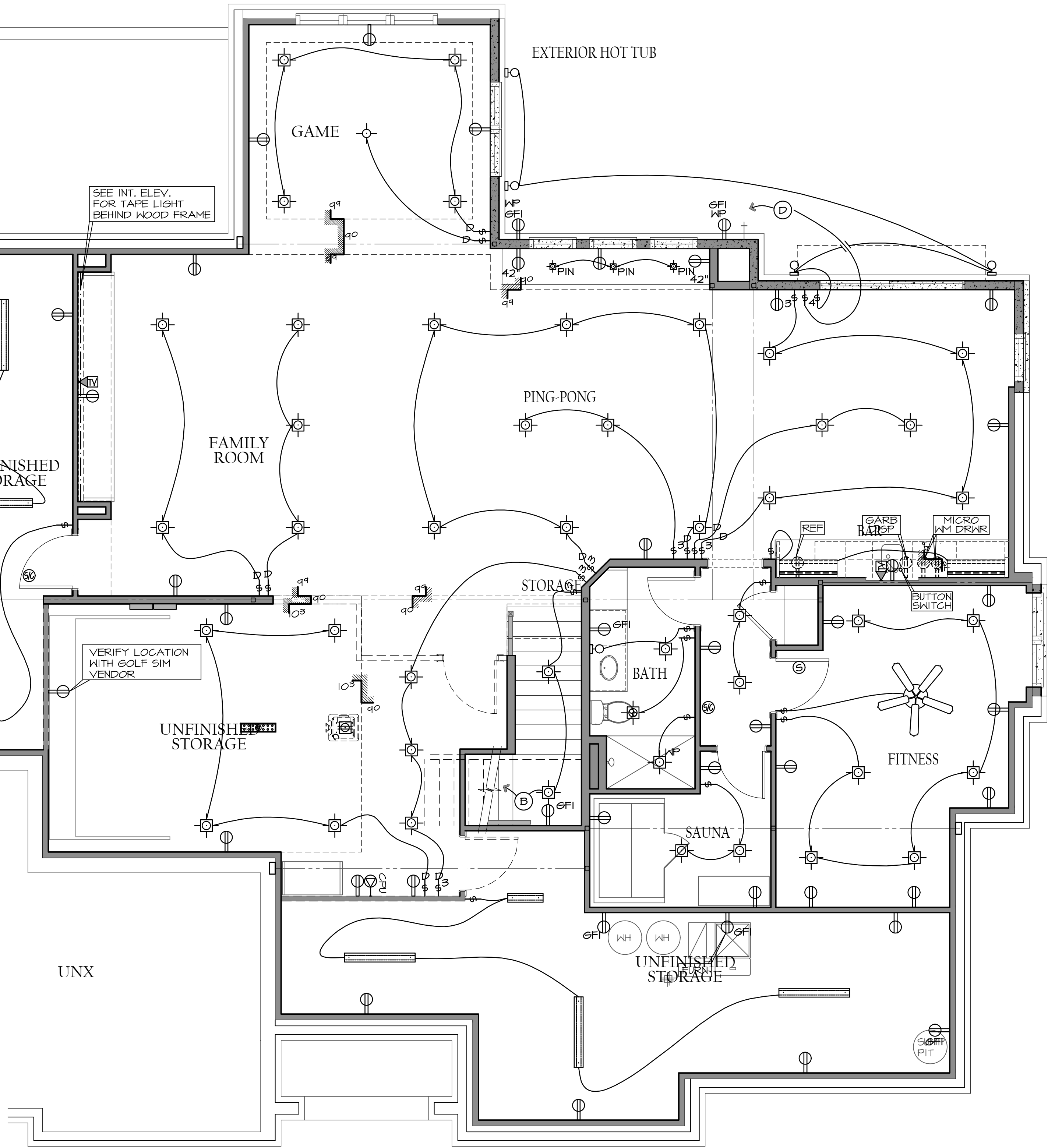
PLAN SHEET

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LIGHTING CONTROL & AV SCHEDULE					
RM NO.	ROOM NAME	LUTRON SHADES	TV	AUDIO	REMARKS
101	COVERED ENTRY	1	-	-	-
102	FOYER	1	-	-	-
103	CONTEMPLATION STUDY	2	-	-	X
104	STAIR HALL	1	-	-	-
105	STAIR	1	-	-	-
109	DROP ZONE	1	-	-	-
112	HIDDEN PANTRY	1	-	-	-
113	REAR COVERED PATIO	1	X	X	X
114	DINING	1	X	X	X
115	KITCHEN	1	-	-	X
116	GREAT ROOM	1	X	X	X
117	SITTING	2	X	-	-
118	MASTER BEDROOM	2	-	X	X
121	MASTER BATH	2	-	-	-
003	FAMILY ROOM (LOWER LEVEL)	3	-	X	X
XXX	POOL DECK	-	-	-	X
XXX	LOWER LEVEL REAR PATIO	-	-	-	X

CROCKETT LOT 22 RESIDENCE - 1702 SOUTH 150 AVE, OMAHA, NE
NOTES:
1. LUTRON = LUTRON LIGHTING CONTROL ZONE. SHADES = MOTORIZED SHADES, ALL TIED INTO LUTRON SYSTEM.
2. TV = TV LOCATION. AUDIO = SOUND SYSTEM / SPEAKERS.
3. VERIFY FINAL DEVICE COUNTS, MODELS & LOCATIONS W/ OWNER & AV CONTRACTOR.
4. LUTRON SYSTEM BY NUMBERS BY PRIORITY
1 = HIGHEST PRIORITY PUBLIC MAIN LEVEL AREA
2 = MASTER SUITE MAIN LEVEL AREA
3 = LOWER LEVEL AREA



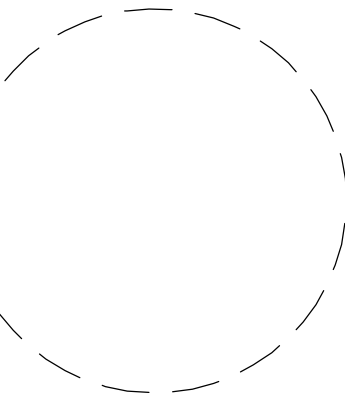
ELECTRICAL LOWER LEVEL
1/4" = 1'-0"

SWITCHES & CONTROLS	
	SWITCH (SINGLE POLE)
	SWITCH (THREE WAY)
	SWITCH (FOUR WAY)
	SWITCH (DIMMER)
	SWITCH (JAMB)
	SWITCH (MOTION)
	FLOOR TO FLOOR CONNECTION
	MOTION SENSOR
	SECURITY KEYPAD
	ZONE CONTROL SYSTEM ZONE
	MSDS
	ELECTRICAL PANEL
RECEPTACLES	
	110V DUPLEX OUTLET
	110V DUPLEX OUTLET (UNDERCOUNTER)
	110V DUPLEX OUTLET (GROUND FAULT INTERRUPTER)
	110V DUPLEX OUTLET GFI AND WATERPROOF
	110V DUPLEX OUTLET (BOTTOM SWITCHED)
	110V QUADPLEX OUTLET
	220V DUPLEX OUTLET
	UNDERCOUNTER PLUG MOULD
	110V DUPLEX OUTLET (FLOOR MOUNTED)
	110V DUPLEX OUTLET (CEILING MOUNTED)
	USB/DUPLEX CHARGING STATION
	PHONE JACK
	DATA/CABLE CONTROL KEYPAD
	THERMOSTAT CONTROL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE/CARBON MONOXIDE DETECTOR
	TV LOCATION
	DATA PULL LOCATION (CONDUIT TO ABOVE CEILING)
LIGHTING FIXTURES	
	SURFACE LIGHT FIXTURE
	SURFACE LIGHT FIXTURE
	RECESSED CAN LIGHT
	RECESSED SLOPED CAN LIGHT
	RECESSED EYE CAN LIGHT
	RECESSED SLOPED EYE CAN LIGHT
	RECESSED PUCK LIGHT
	WELL LIGHT
	PIN RECESSED ROUND LIGHT
	UNDERCOUNTER LIGHT
	INDIRECT LIGHTING
	WALL MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	FANLIGHT COMBO
	FLOOD LIGHT
	SOLATUBE W/ RIGID TUNNEL
	TREAD LIGHT
	TRACK LIGHTING
	SURFACE MOUNT LINEAR LED FIXTURE
	SURFACE MOUNT LINEAR LED FIXTURE
MISCELLANEOUS	
	CEILING FANLIGHT COMBO
	CEILING FAN ONLY

CROCKETT LOT22
RESIDENCE
1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144

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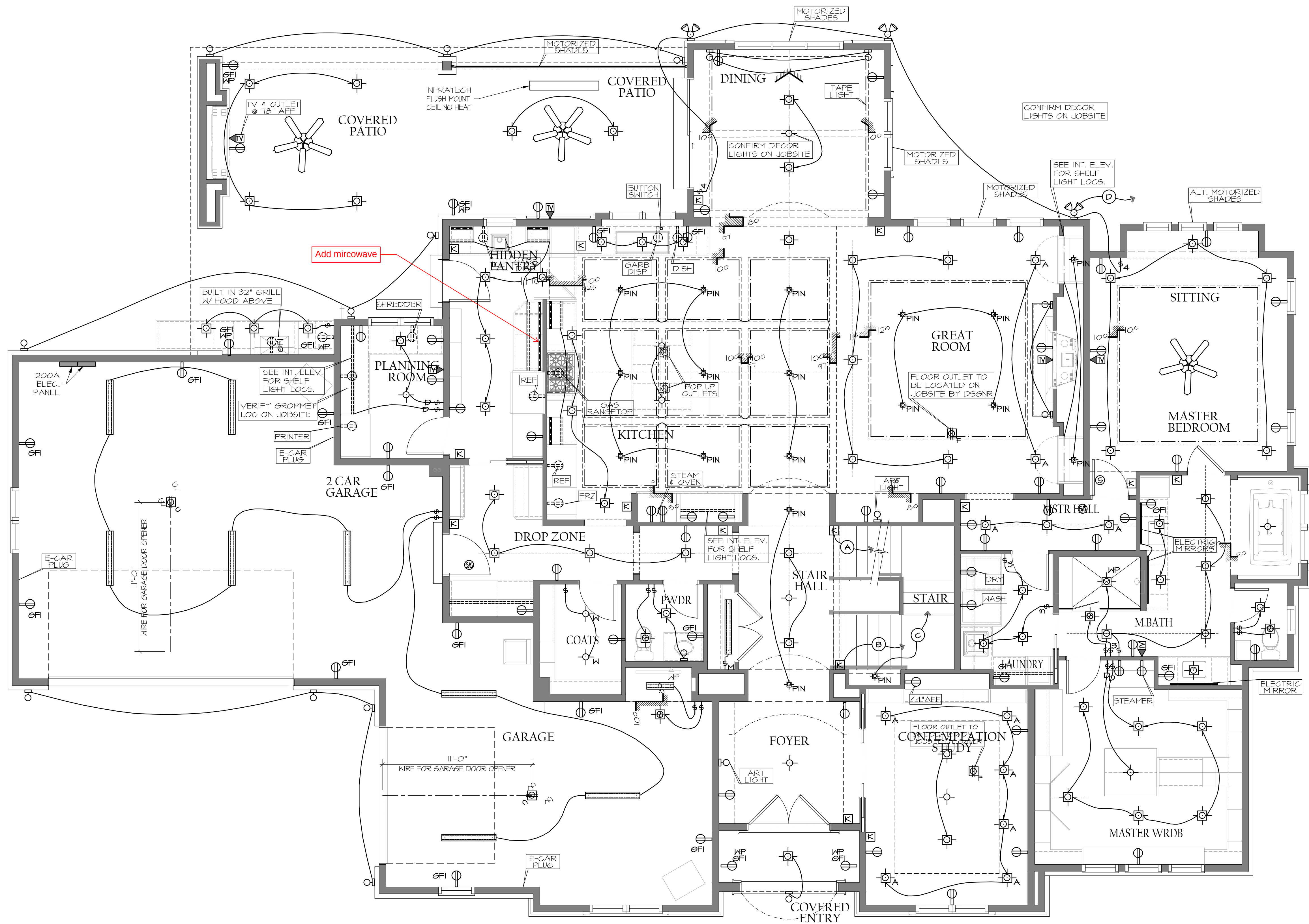
PLAN DATE	
07/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26



JOB NUMBER	
15-2510	
DESCRIPTION	
LOWER LEVEL ELECTRICAL PLAN	
PLAN SHEET	
E1.01	

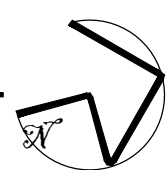
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HOME PAGE: A0.01
PLOT DATE: 1/17/2026
D:\MCNEIL COMPANY DROPBOX\KENT RASMUSSEN\McNEIL DESIGN\RESIDENTIAL\15-2510 CROCKETT HEARTWOOD LOT22\E1 ELECTRICAL.DWG



ELECTICAL MAIN LEVEL

1/4" = 1'-0"



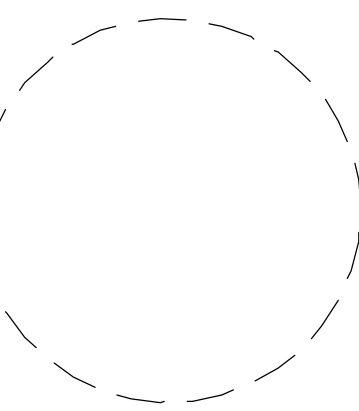
SWITCHES & CONTROLS	
	SWITCH (SINGLE POLE)
	SWITCH (THREE WAY)
	SWITCH (FOUR WAY)
	SWITCH (DIMMER)
	SWITCH (JAMB)
	SWITCH (MOTION)
	FLOOR TO FLOOR CONNECTION
	MOTION SENSOR
	SECURITY KEYPAD
ZONE CONTROL SYSTEM	
	MSDE
	ELECTRICAL PANEL
RECEPTACLES	
	110V DUPLEX OUTLET
	110V DUPLEX OUTLET (UNDERCOUNTER)
	110V DUPLEX OUTLET (GFI)
	110V DUPLEX OUTLET (GFI AND WATERPROOF)
	110V DUPLEX OUTLET (BOTTOM SWITCHED)
	110V QUADPLEX OUTLET
	220V DUPLEX OUTLET
	UNDERCOUNTER PLUG MOULD
	110V DUPLEX OUTLET (FLOOR MOUNTED)
	110V DUPLEX OUTLET (CEILING MOUNTED)
	USB/DUPLEX CHARGING STATION
	PHONE JACK
	DATA/CABLE CONTROL KEYPAD
	THERMOSTAT CONTROL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE/CARBON MONOXIDE DETECTOR
	TV LOCATION
	DATA PULL LOCATION (CONDUIT TO ABOVE CEILING)
LIGHTING FIXTURES	
	SURFACE LIGHT FIXTURE
	SURFACE LIGHT FIXTURE
	RECESSED CAN LIGHT
	RECESSED SLOPED CAN LIGHT
	RECESSED EYE CAN LIGHT
	RECESSED SLOPED EYE CAN LIGHT
	RECESSED PUCK LIGHT
	WELL LIGHT
	PIN RECESSED ROUND LIGHT
	UNDERCOUNTER LIGHT
	INDIRECT LIGHTING
	WALL MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	FAN/LIGHT COMBO
	FLOOD LIGHT
	SOLATUBE W/ RIGID TUNNEL
	TREAD LIGHT
	TRACK LIGHTING
	SURFACE MOUNT LINEAR FIXTURE
	SURFACE MOUNT LINEAR LED FIXTURE
MISCELLANEOUS	
	CEILING FAN/LIGHT COMBO
	CEILING FAN ONLY

CROCKETT LOT22
RESIDENCE

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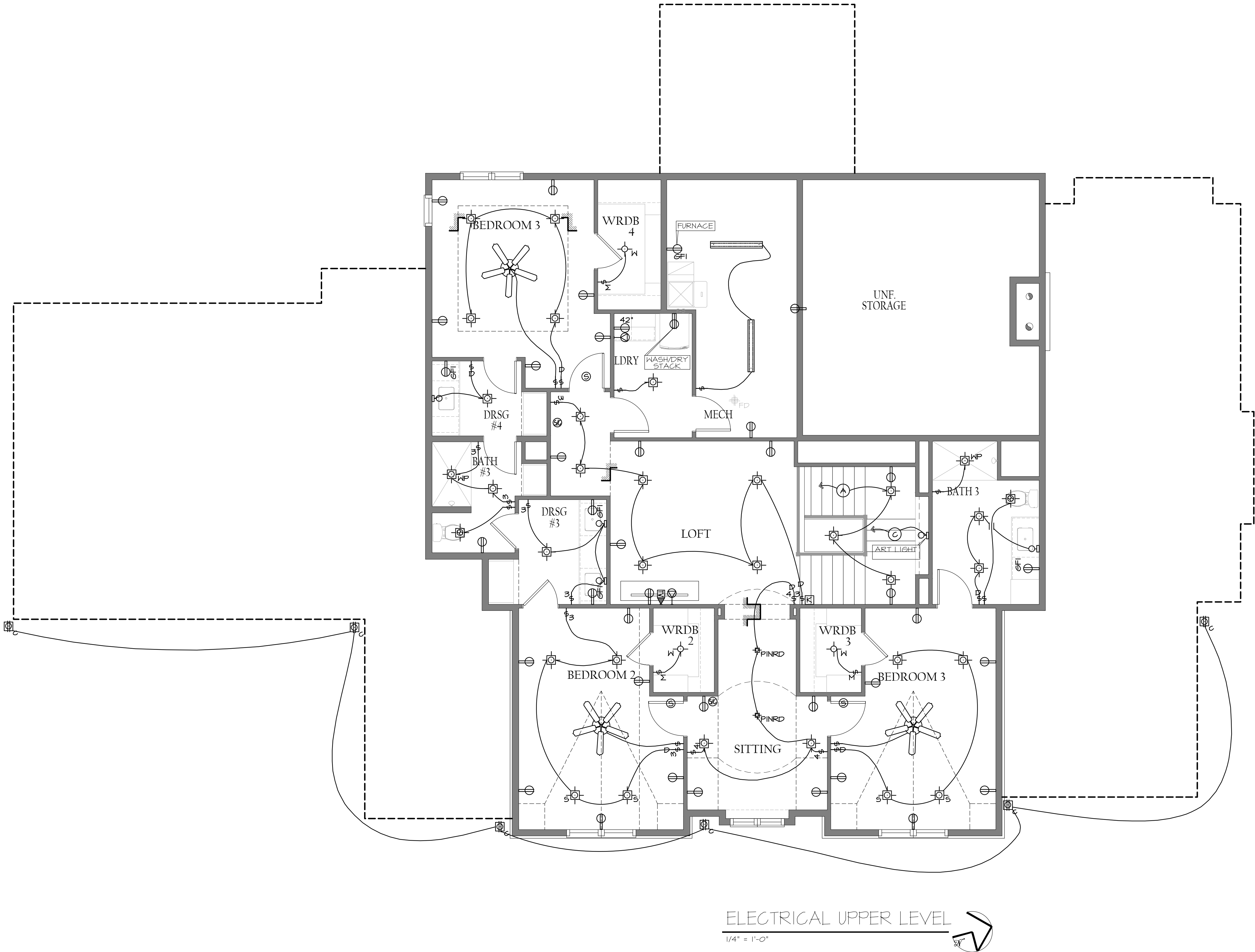
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PLAN DATE	
01/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
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JOB NUMBER	
15-2510	
DESCRIPTION	
MAIN LEVEL ELECTRICAL PLAN	
PLAN SHEET	
E1.02	

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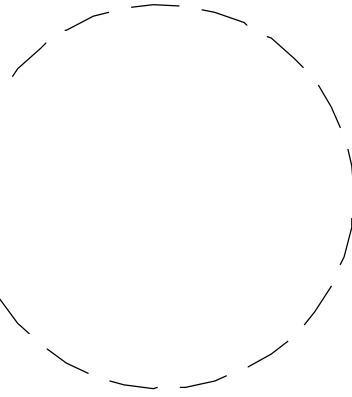


SWITCHES & CONTROLS	
	SWITCH (SINGLE POLE)
	SWITCH (THREE WAY)
	SWITCH (FOUR WAY)
	SWITCH (DIMMER)
	SWITCH (JAMB)
	SWITCH (MOTION)
	FLOOR TO FLOOR CONNECTION
	MOTION SENSOR
	SECURITY KEYPAD
	ZONE CONTROL SYSTEM
	MSDE
	ELECTRICAL PANEL
RECEPTACLES	
	110V DUPLEX OUTLET
	110V DUPLEX OUTLET (UNDERCOUNTER)
	110V DUPLEX OUTLET (GROUND FAULT INTERRUPTER)
	110V DUPLEX OUTLET GFI AND WATERPROOF
	110V DUPLEX OUTLET (BOTTOM SWITCHED)
	110V QUADPLEX OUTLET
	220V DUPLEX OUTLET
	UNDERCOUNTER PLUG MOULD
	110V DUPLEX OUTLET (FLOOR MOUNTED)
	110V DUPLEX OUTLET (CEILING MOUNTED)
	USB/DUPLEX CHARGING STATION
	PHONE JACK
	DATA/CABLE
	CONTROL KEYPAD
	THERMOSTAT CONTROL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE/CARBON MONOXIDE DETECTOR
	TV LOCATION
	DATA PULL LOCATION (CONDUIT TO ABOVE CEILING)
LIGHTING FIXTURES	
	SURFACE LIGHT FIXTURE
	SURFACE LIGHT FIXTURE
	RECESSED CAN LIGHT
	RECESSED SLOPED CAN LIGHT
	RECESSED EYE CAN LIGHT
	RECESSED SLOPED EYE CAN LIGHT
	RECESSED PUCK LIGHT
	WELL LIGHT
	PIN RECESSED ROUND LIGHT
	UNDERCOUNTER LIGHT
	INDIRECT LIGHTING
	WALL MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	FAN/LIGHT COMBO
	FLOOD LIGHT
	SOLATUBE W/ RIGID TUNNEL
	TREAD LIGHT
	TRACK LIGHTING
	SURFACE MOUNT LINEAR FIXTURE
	SURFACE MOUNT LINEAR LED FIXTURE
MISCELLANEOUS	
	CEILING FAN/LIGHT COMBO
	CEILING FAN ONLY

CROCKETT LOT22
RESIDENCE
1702 SOUTH 150 AVE. OMAHA, NEBRASKA 68144

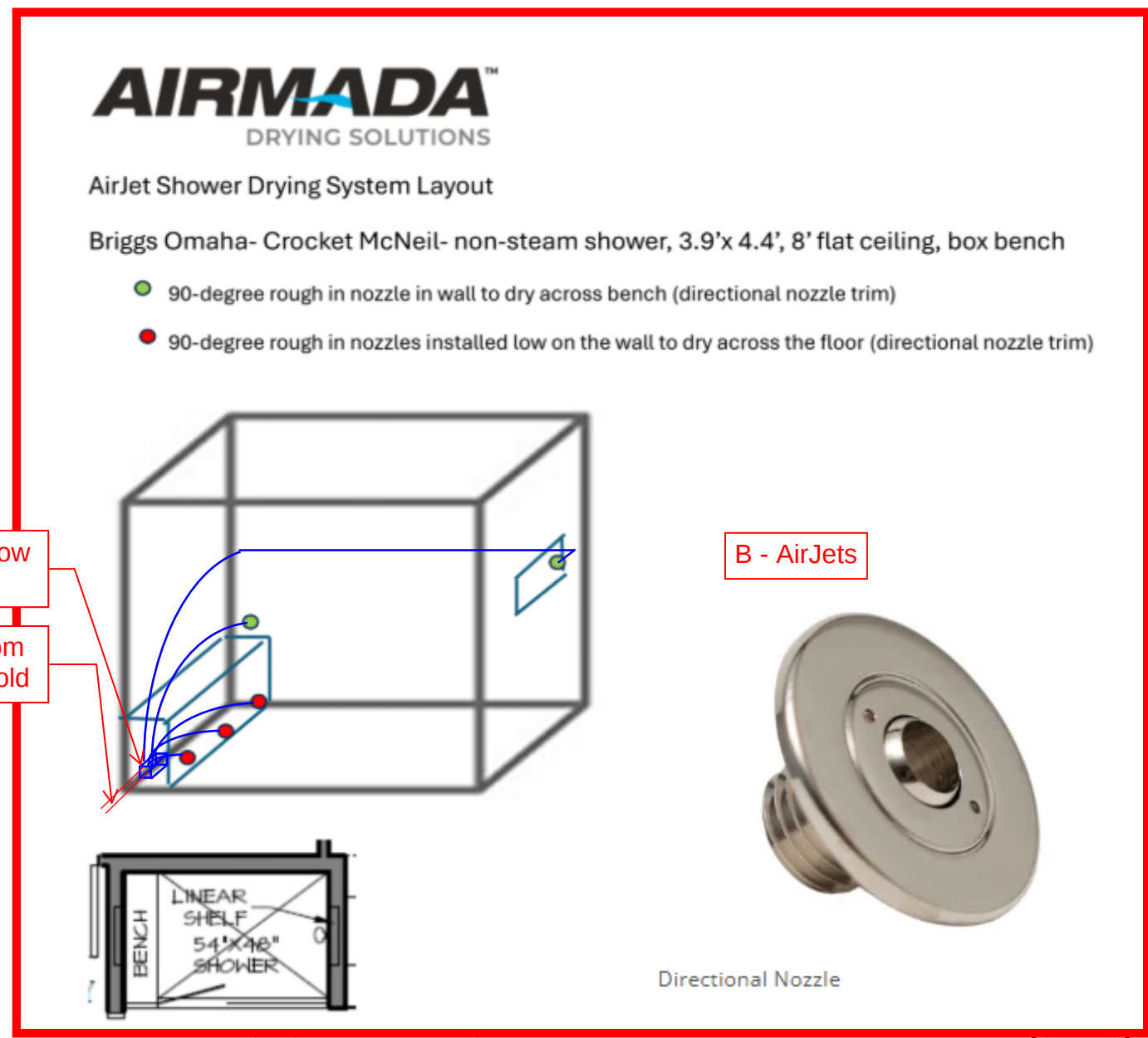
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PLAN DATE	
01/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26



JOB NUMBER	
15-2510	
DESCRIPTION	
UPPER LEVEL ELECTRICAL PLAN	
PLAN SHEET	
E1.03	

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The AirJet Shower Drying System includes the following components:

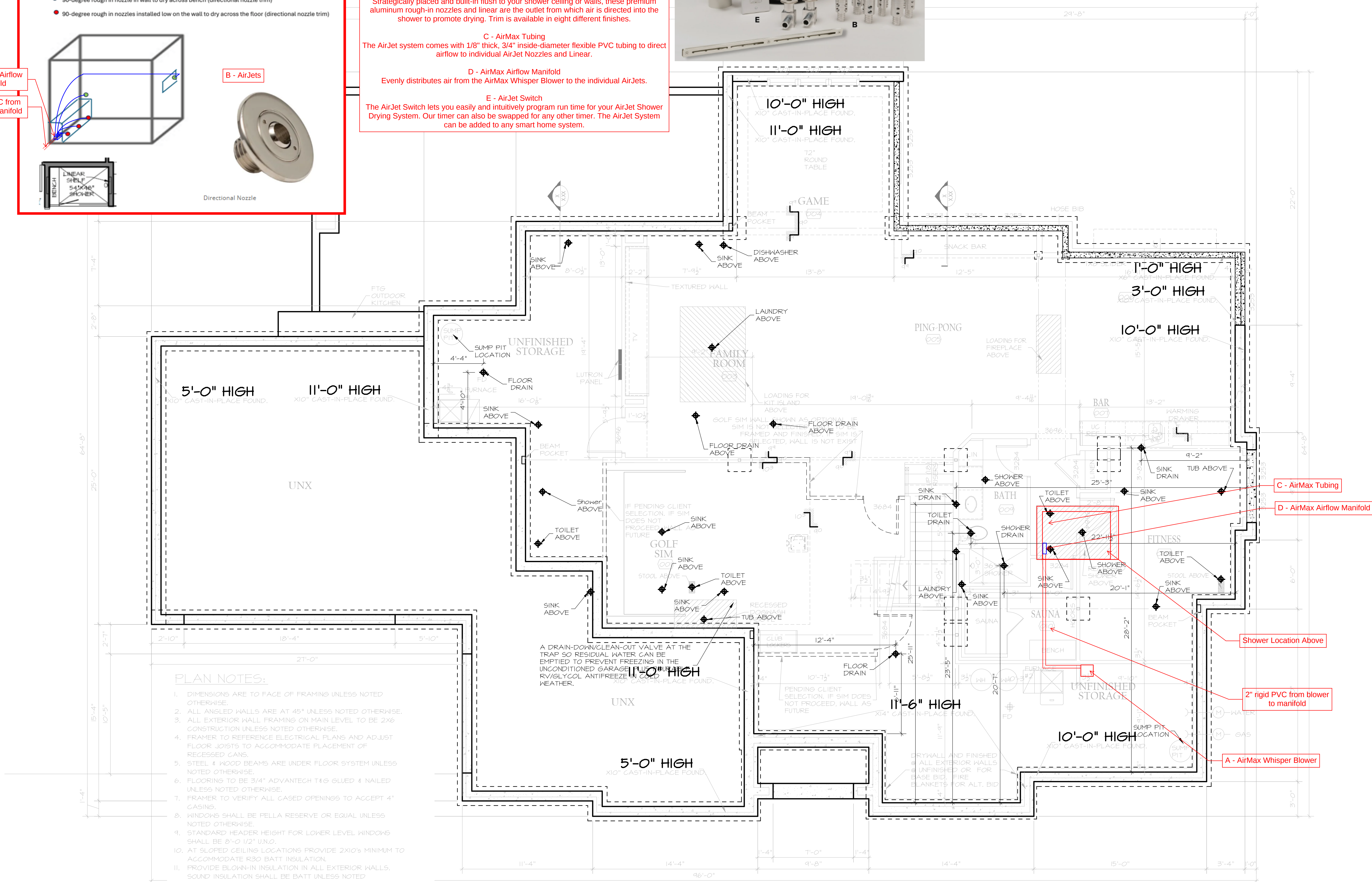
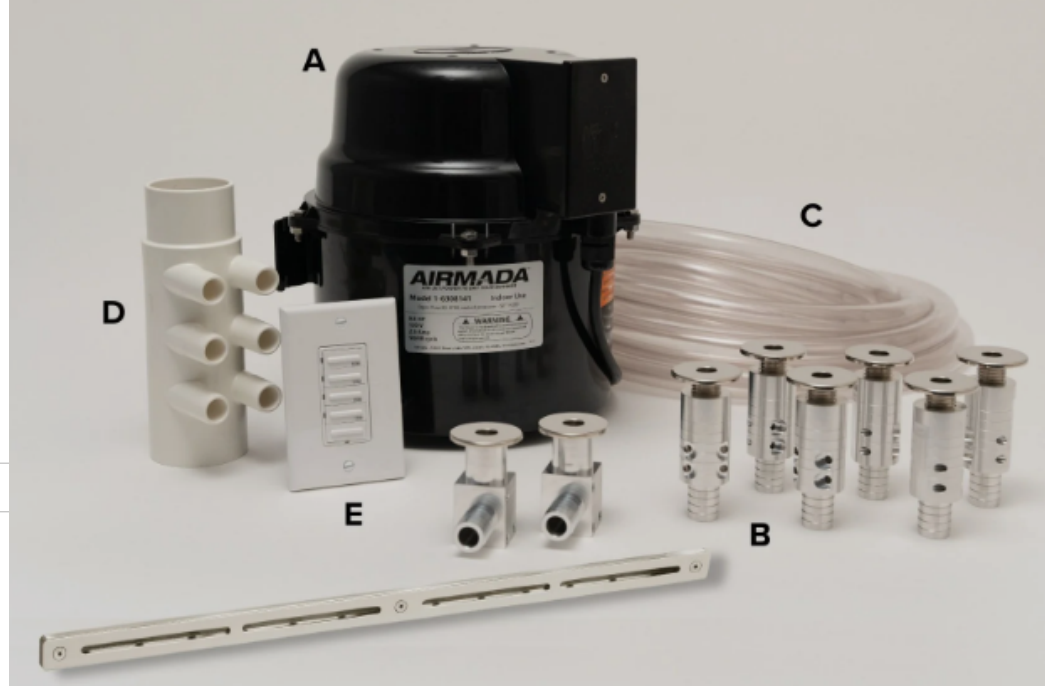
A - AirMax Whisper Blower
We offer three different sizes, 0.8, 1.0, and 1.5 horsepower AirMax Blower, that gets hidden out of sight, generates a powerful and steady jet of air that travels in a 2" rigid PVC tube from up to 50 feet away, if needed, and connects to the manifold that distributes the air to the AirJet Nozzles.

B - AirJets
Strategically placed and built-in flush to your shower ceiling or walls, these premium aluminum rough-in nozzles and linear are the outlet from which air is directed into the shower to promote drying. Trim is available in eight different finishes.

C - AirMax Tubing
The AirJet system comes with 1/8" thick, 3/4" inside-diameter flexible PVC tubing to direct airflow to individual AirJet Nozzles and Linear.

D - AirMax Airflow Manifold
Evenly distributes air from the AirMax Whisper Blower to the individual AirJets.

E - AirJet Switch
The AirJet Switch lets you easily and intuitively program run time for your AirJet Shower Drying System. Our timer can also be swapped for any other timer. The AirJet System can be added to any smart home system.



PLAN NOTES:

- DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS ARE AT 45° UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALL FRAMING ON MAIN LEVEL TO BE 2X6 CONSTRUCTION UNLESS NOTED OTHERWISE.
- FRAMER TO REFERENCE ELECTRICAL PLANS AND ADJUST FLOOR JOISTS TO ACCOMMODATE PLACEMENT OF RECESSED CANS.
- STEEL & WOOD BEAMS ARE UNDER FLOOR SYSTEM UNLESS NOTED OTHERWISE.
- FLOORING TO BE 3/4" ADVANTECH T&G GLUED & NAILED UNLESS NOTED OTHERWISE.
- FRAMER TO VERIFY ALL CASED OPENINGS TO ACCEPT 4" CASING.
- WINDOWS SHALL BE PELLA RESERVE OR EQUAL UNLESS NOTED OTHERWISE.
- STANDARD HEADER HEIGHT FOR LOWER LEVEL WINDOWS SHALL BE 8'-0" 1/2" U.N.O.
- AT SLOPED CEILING LOCATIONS PROVIDE 2X10'S MINIMUM TO ACCOMMODATE R30 BATT INSULATION.
- PROVIDE BLOWN-IN INSULATION IN ALL EXTERIOR WALLS. SOUND INSULATION SHALL BE BATT UNLESS NOTED OTHERWISE.
- ALL CABINET FINISHED ENDS TO HAVE DECORATIVE FINISHED PANELS.
- SOLID BEARING THAT TERMINATES AT FOOTINGS.
- FLUSH paneled opening over 1/2" PLYWOOD.

FOUNDER LEVEL PLAN

1/4" = 1'-0"

SQUARE FOOTAGES

LOWER LEVEL
MECHANICAL / STORAGE

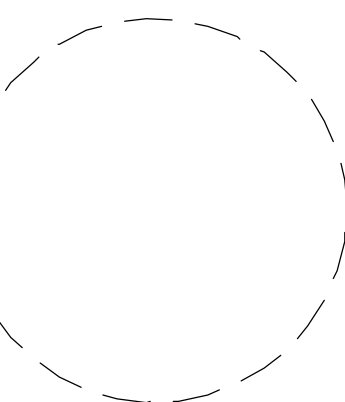
50 FT
2106
711

CROCKETT LOT22
RESIDENCE

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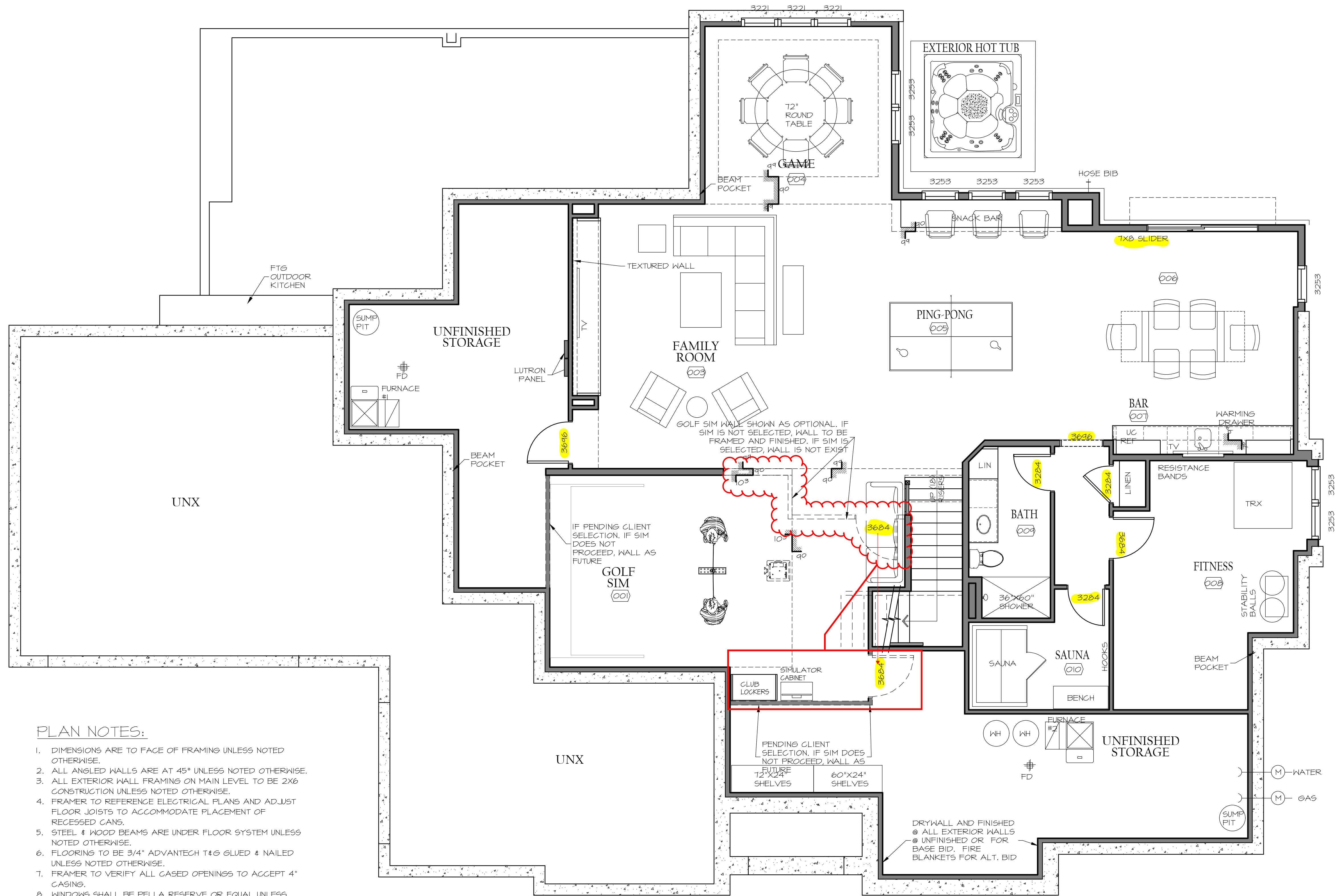
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01/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	01/17/26



JOB NUMBER	
15-2510	
DESCRIPTION	
PLUMBING PLAN	
PLAN SHEET	
P1.01	

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2. ALL ANGLED WALLS ARE AT 45° UNLESS NOTED OTHERWISE.
3. ALL EXTERIOR WALL FRAMING ON MAIN LEVEL TO BE 2X6 CONSTRUCTION UNLESS NOTED OTHERWISE.
4. FRAMER TO REFERENCE ELECTRICAL PLANS AND ADJUST FLOOR JOISTS TO ACCOMMODATE PLACEMENT OF RECESSED CANS.
5. STEEL & WOOD BEAMS ARE UNDER FLOOR SYSTEM UNLESS NOTED OTHERWISE.
6. FLOORING TO BE 3/4" ADVANTECH T&G GLUED & NAILED UNLESS NOTED OTHERWISE.
7. FRAMER TO VERIFY ALL CASED OPENINGS TO ACCEPT 4" CASING.
8. WINDOWS SHALL BE PELLA RESERVE OR EQUAL UNLESS NOTED OTHERWISE.
9. STANDARD HEADER HEIGHT FOR LOWER LEVEL WINDOWS SHALL BE 8'-0 1/2" UNO.
10. AT SLOPED CEILING LOCATIONS PROVIDE 2X10's MINIMUM TO ACCOMMODATE R30 BATT INSULATION.
11. PROVIDE BLOW-IN INSULATION IN ALL EXTERIOR WALLS. SOUND INSULATION SHALL BE BATT UNLESS NOTED OTHERWISE.
10. ALL CABINET FINISHED ENDS TO HAVE DECORATIVE FINISHED PANELS.
11. - SOLID BEARING THAT TERMINATES AT FOOTINGS.
12. FLUSH paneled opening over 1/4" PLYWOOD.

LOWER LEVEL

1/4" = 1'-0"

SQUARE FOOTAGES

LOWER LEVEL	50 FT
MECHANICAL / STORAGE	2106
	711

CROCKETT LOT22
RESIDENCE

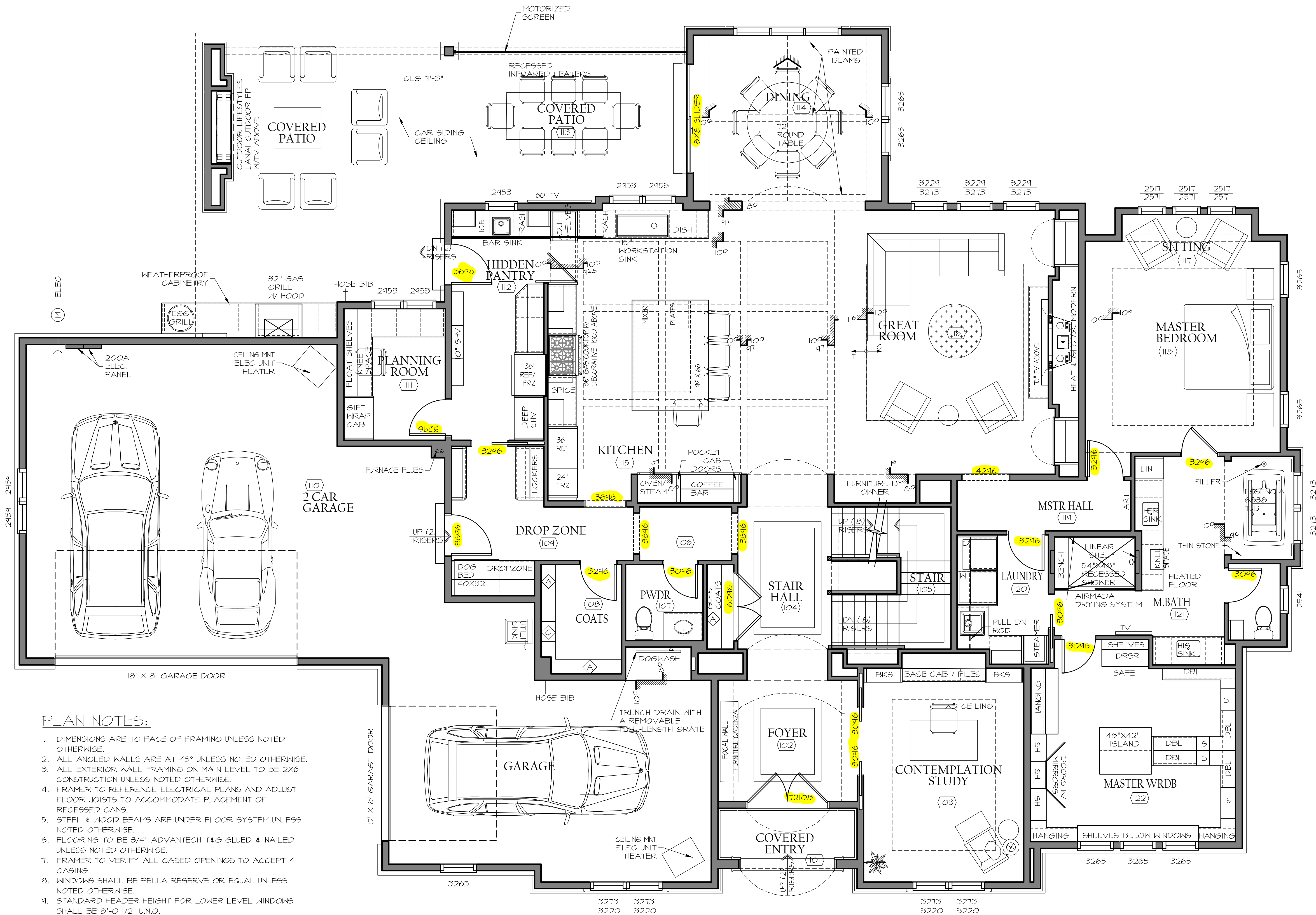
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PLAN DATE	01/17/2026
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26

JOB NUMBER	15-2510
DESCRIPTION	LOWER LEVEL FLOOR PLAN
PLAN SHEET	F1.01

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4. FRAMER TO REFERENCE ELECTRICAL PLANS AND ADJUST FLOOR JOISTS TO ACCOMMODATE PLACEMENT OF RECESSED CANS.
5. STEEL & WOOD BEAMS ARE UNDER FLOOR SYSTEM UNLESS NOTED OTHERWISE.
6. FLOORING TO BE 3/4" ADVANTECH T&G GLUED & NAILED UNLESS NOTED OTHERWISE.
7. FRAMER TO VERIFY ALL GASED OPENINGS TO ACCEPT 4" CASING.
8. WINDOWS SHALL BE PELLA RESERVE OR EQUAL UNLESS NOTED OTHERWISE.
9. STANDARD HEADER HEIGHT FOR LOWER LEVEL WINDOWS SHALL BE 8'-0" 1/2" U.N.O.
10. AT SLOPED CEILING LOCATIONS PROVIDE 2X10'S MINIMUM TO ACCOMMODATE R30 BATT INSULATION.
11. PROVIDE BLOWN-IN INSULATION IN ALL EXTERIOR WALLS. SOUND INSULATION SHALL BE BATT UNLESS NOTED OTHERWISE.
12. ALL CABINET FINISHED ENDS TO HAVE DECORATIVE FINISHED PANELS.
13. - SOLID BEARING THAT TERMINATES AT FOOTINGS.
14. FLUSH PANELED OPENING OVER 1/2" PLYWOOD.

SQUARE FOOTAGES

	SQ. FT.
LOWER LEVEL	2108
MAIN LEVEL	2960
UPPER LEVEL	1661
TOTAL	6729
GARAGE	1121

CROCKETT LOT22
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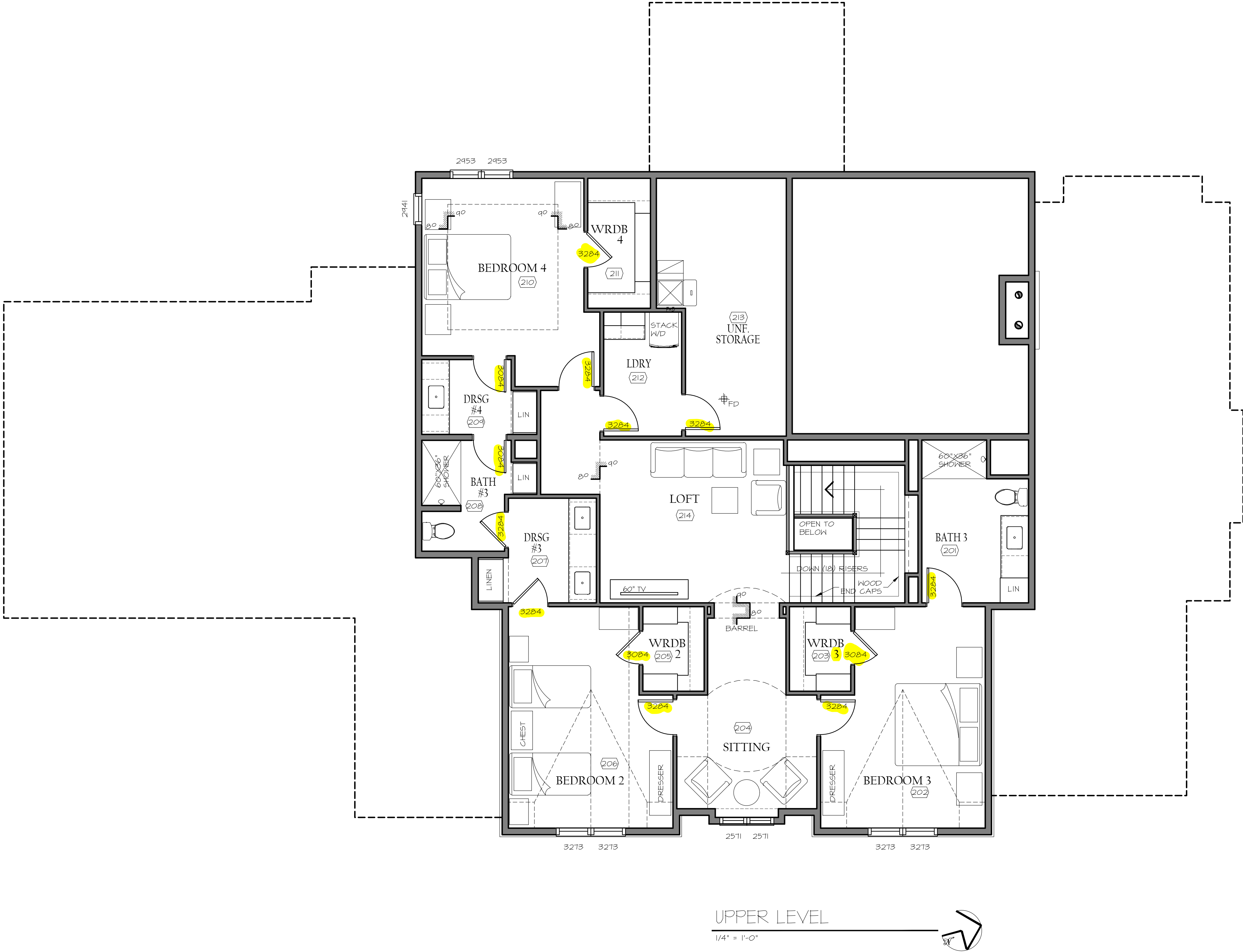
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REV.	DATE
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JOB NUMBER	15-2510
DESCRIPTION	MAIN LEVEL FLOOR PLAN
PLAN SHEET	F1.02

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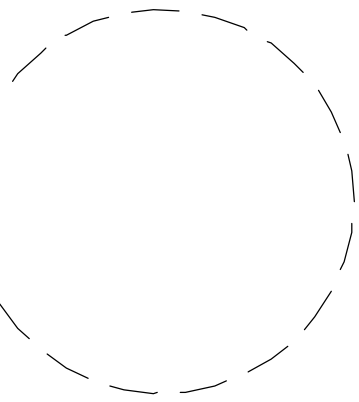


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RESIDENCE

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PLAN DATE 01/17/2026	
REV.	DATE
MEETING	03/18/26
HEARTWOOD	05/06/26
PRELIM BID	07/17/26



JOB NUMBER 15-2510
DESCRIPTION SECOND LEVEL FLOOR PLAN
PLAN SHEET F1.03

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