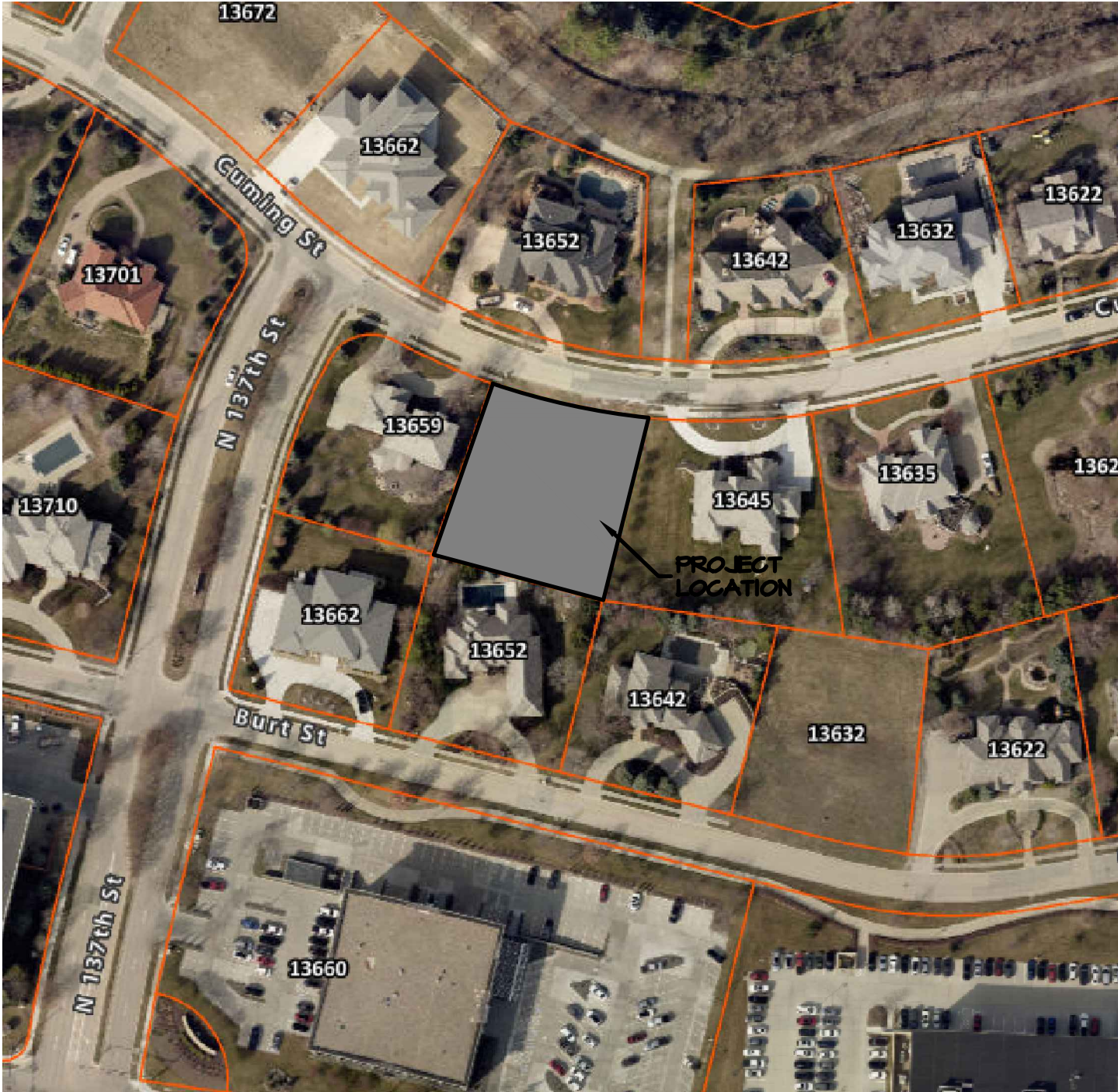


LOT #144 SCHACHNE
RESIDENCE



ARTIST RENDERING ONLY. SEE EXTERIOR ELEVATIONS FOR DETAIL

KEYMAP:



PROJ. INFORMATION:

PROJECT OWNER:	LOT #144 LINDEN ESTATES 2ND ADDITION SCHACHNE RESIDENCE 13651 CUMINGS STREET OMAHA, NE 68154
BUILDER:	MCNEIL COMPANY 4666 SOUTH 132ND STREET OMAHA, NEBRASKA 68137 PHONE: (402) 333-1462
JOB LOCATION:	13651 CUMINGS STREET OMAHA, NE 68154
SITE EXAMINATION:	CONTRACTORS ARE REQUIRED TO VISIT THE SITE, COMPARE THE CONTRACT DOCUMENTS WITH WORK IN PLACE AND INFORM THEMSELVES OF ALL EXISTING CONDITIONS. FAILURE TO VISIT THE SITE WILL IN NO WAY RELIEVE THE CONTRACTOR FROM FURNISHING ANY MATERIALS OR PERFORMING ANY WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AT NO ADDITIONAL COMPENSATION FROM THE OWNER.
City of Omaha Permits & Inspections Division 1819 Farnam Street, Room 1110 Omaha, NE 68183 Phone: 402-444-5350 Fax: 402-444-5233	
Current Codes Residential Building Code (single-family/two-family/townhomes).....2018 IRC Commercial Building Code.....2018 IBC Existing Building Code.....2018 IBC Electrical Code.....2017 NEC Energy Code.....2018 IECC (2018 IRC Chapter 13 for Residential) Fire Code.....2012 LC and 2012 IFC Accessibility Code.....2018 IRC (including ICC A117.1-2009) Mechanical Code.....Chapter 40 Omaha Municipal Code and 2012 IMC Plumbing Code.....Chapter 49 Omaha Municipal Code, 2018 Omaha Plumbing Code Zoning.....Chapter 55 Omaha Municipal Code	
Note: Most national codes used in Omaha have been locally amended. Amendments are available on the Internet at www.municode.com or at the City of Omaha's website at www.cityofomaha.org . Information shown on the Municode website may be up to six months behind!	
Engineering Data Frost Depth.....42" minimum Soil Bearing Capacity without Soil Test.....1,500 psf	

SHEET INDEX:

A0.01 - GENERAL INFORMATION - SHEET INDEX

C1.01 - SITE PLAN

A1.01 - FOUNDATION PLAN

AF1.1 - NORTH AND WEST FOUNDATION ISO VIEWS

AF1.2 - SOUTH AND EAST FOUNDATION ISO VIEWS

A1.02 - LOWER LEVEL FLOOR PLAN

A1.03 - MAIN LEVEL FLOOR PLAN

A1.04 - ROOF PLAN

A2.01 - FRONT AND RIGHT EXTERIOR ELEVATIONS

A2.02 - REAR AND LEFT EXTERIOR ELEVATIONS

A3.01 - STAIR SECTIONS AND ENLARGED STAIR PLANS

A3.10 - WALL SECTIONS AND DETAILS

A3.11 - WALL SECTIONS AND DETAILS

A3.31 - FOUNDATION DETAILS

A3.41 - FRAMING DETAILS

A3.42 - FRAMING DETAILS

A4.01 - INTERIOR ELEVATIONS

A4.02 - INTERIOR ELEVATIONS

A4.03 - INTERIOR ELEVATIONS

A4.04 - INTERIOR ELEVATIONS

E1.01 - LOWER LEVEL ELECTRICAL PLAN

E1.02 - MAIN LEVEL ELECTRICAL PLAN

P1.01 - UNDERGROUND PLUMBING PLAN

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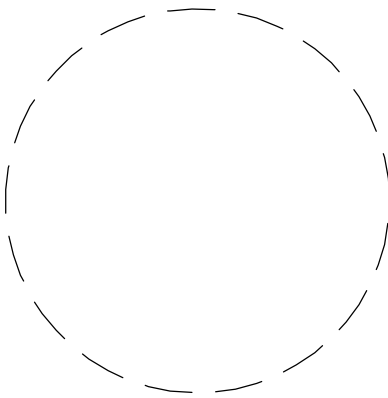
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LOT #144
SCHACHNE RESIDENCE
13651 CUMINGS ST OMAHA NE 68154

MCNEIL
COMPANY
4666 South 132nd Street
Omaha, NE 68137
402-333-1462
mcneilcompany.com

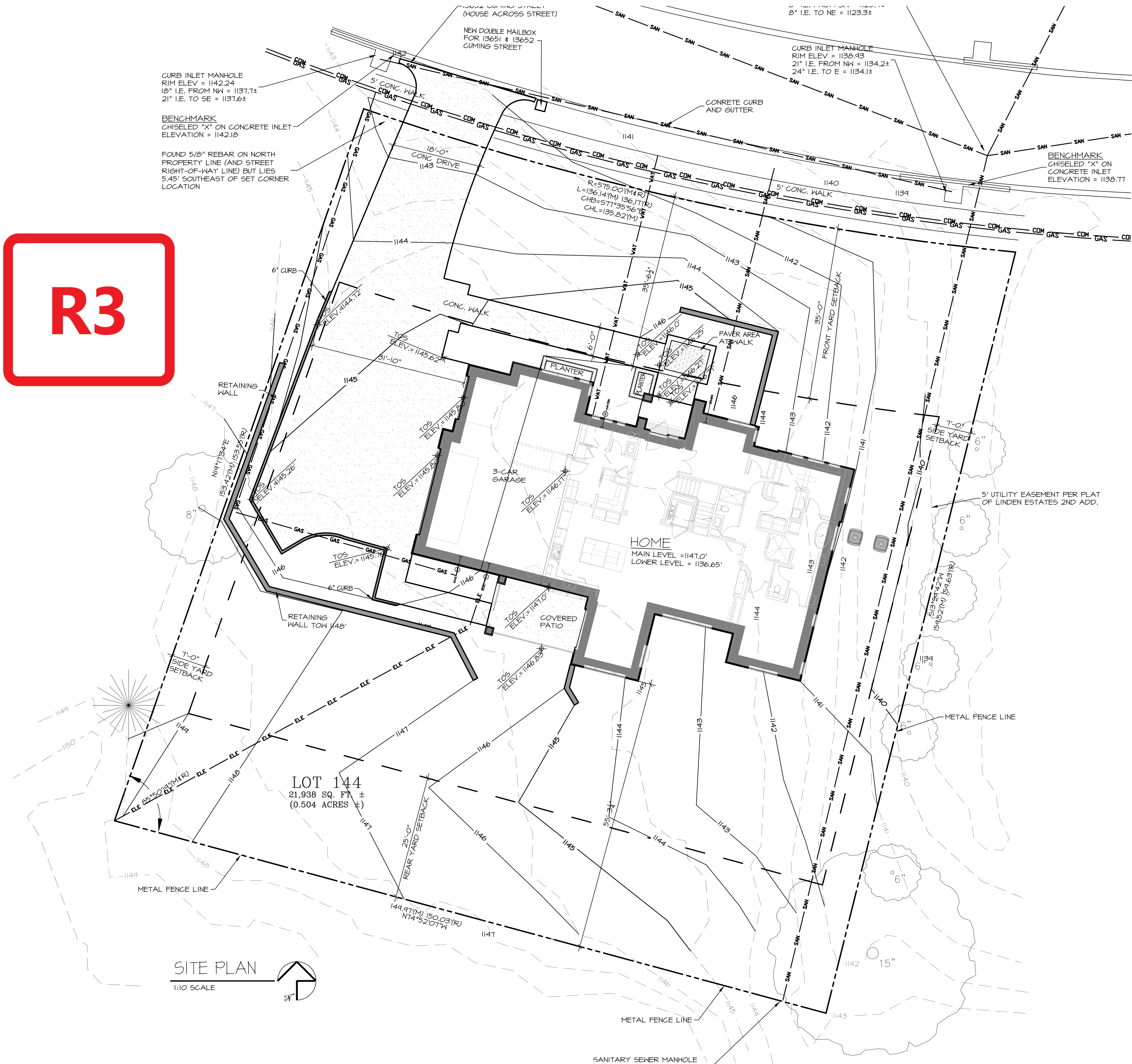
PLAN DATE 12/24/2024	
REV.	DATE
PERMIT	03/13/25
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REV 02	04/10/25
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JOB NUMBER
I5-2457
DESCRIPTION
TITLE SHEET, SHEET INDEX
PLAN SHEET
A0.01

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R3



PROPERTY SPECIFICATIONS

LOT#144, 2ND ADDITION, LINDEN ESTATES
SUBDIVISION AS SURVEYED, PLATTED AND
RECORDED IN DOUGLAS COUNTY, NEBRASKA

ZONING AND SETBACKS:

SEC. 55-161. - R3 SINGLE-FAMILY RESIDENTIAL DISTRICT (MEDIUM DENSITY).
SEC. 55-162. - PURPOSE.
THE R3 SINGLE-FAMILY RESIDENTIAL DISTRICT IS INTENDED TO PROVIDE FOR
MODERATE-DENSITY RESIDENTIAL NEIGHBORHOODS, CHARACTERIZED GENERALLY BY
SINGLE-FAMILY DWELLINGS ON MEDIUM-SIZED LOTS WITH SUPPORTING COMMUNITY
FACILITIES. THE R3 DISTRICT ALLOWS FOR SEVERAL DEVELOPMENT OPTIONS FOR
SINGLE-FAMILY RESIDENTIAL CONSTRUCTION. IT PROVIDES FOR CONDITIONAL APPROVAL
OF COMMUNITY FACILITIES WHICH GENERATE LARGER QUANTITIES OF TRAFFIC THAN
PERMITTED RESIDENTIAL USES. THE R3 DISTRICT IS APPROPRIATE FOR ESTABLISHED
PARTS OF THE CITY, WHERE IT SERVES TO PRESERVE EXISTING SINGLE-FAMILY
NEIGHBORHOODS WHILE PROMOTING DEVELOPMENT OF INFILL HOUSING, AND FOR NEWLY
DEVELOPING NEIGHBORHOODS.

R3 SINGLE-FAMILY DETACHED	ALL OTHER USES
LOT AREA 7,500 SQ. FT. MINIMUM	
LOT WIDTH 60 FEET MINIMUM	
SITE AREA / UNIT 7,500 SQ. FT.	
FLOOR AREA RATIO NO RESTRICTION	
HEIGHT 35 FEET MAXIMUM	
BUILDING COVERAGE 35% MAXIMUM	
IMPERVIOUS COVERAGE 45% MAXIMUM	
FRONT YARD 35 FEET MINIMUM	
STREET SIDE YARD 17.5 FEET MINIMUM	
INTERIOR SIDE YARD 7 FEET MINIMUM	
IF ZERO LOT LINE IS USED ON OPPOSITE YARD 15 FEET MINIMUM	15 FEET
ALL OTHER USES 25 FEET MINIMUM	
REAR YARD 25 FEET MINIMUM	

SITE NOTES:

- ALL TREES AND SHRUBS SHALL REMAIN UNLESS NOTED OTHERWISE. PROVIDE PROPER PROTECTION FOR ALL TREES AND SHRUBS THAT REMAIN. VERIFY W/ CONTRACTOR & OWNER PRIOR TO ANY TRIMMING OR TREE REMOVAL.
- ALL GREEN AREAS SHALL BE SPRINKLERED. SEE FLOOR PLAN FOR CONTROL LOCATION.
- PROVIDE PROPER DRAINAGE AWAY FROM HOME. MINIMUM SLOPE OF CONCRETE SHALL BE 2% TO ENSURE PROPER DRAINAGE. MINIMUM SLOPE ON LANDSCAPE & SODDED AREAS SHALL BE 3% TO ENSURE PROPER DRAINAGE.
- EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH AFTER TROWLING. BROOM W/ FIBER BRISTLE BROOM PERPENDICULAR TO MAIN TRAFFIC ROUTE.

LOT LEVEL SWPP REQUIREMENT

Best Management Practices (i.e. silt fence, inlet protection, fuel storage containment, cleaning vehicular track out, seeding, limiting parking on unpaved areas, litter collection, strategic portable toilet placement, etc.) must be selected, implemented and maintained on every lot to, minimize erosion, control sediment, and prevent pollution. This construction is subject to Federal, State and Local laws. Enforcement actions, which can include but are not limited to the assessment and collection of fines, maybe initiated if uncontrolled pollution takes place. For further Storm Water Pollution Prevention Plan (SWPPP) information visit <http://www.powperosioncontrol.org>.

A/C UNITS
CANNOT BE
INSTALLED IN
ANY REQUIRED
SETBACK

CALL BEFORE YOU DIG
811
Know what's below.
Call before you dig.
1-800-331-5666
www.811.com
UTILITIES
COORDINATING
COMMITTEE

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LOT 144
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13651 CUMING ST OMAHA NE 68154

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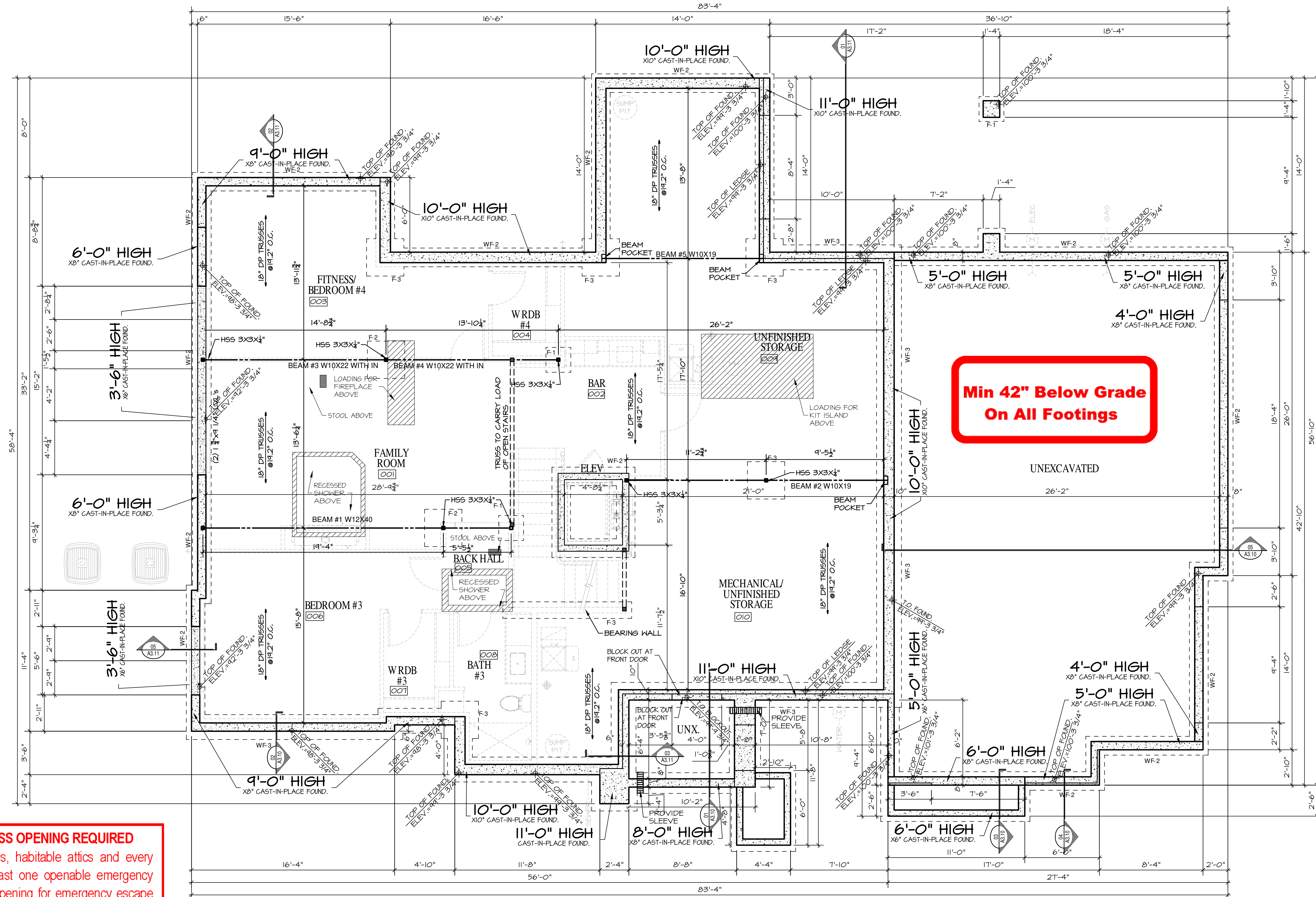
PLAN DATE	12/24/2024
REV.	DATE
PERMIT	03/13/25
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JOB NUMBER	I5-2457
DESCRIPTION	SITE PLAN
PLAN SHEET	C1.01

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1. EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL, INTERIOR DIMENSIONS ARE TO FRAMING
2. ALL ANGLED WALLS ARE AT 45° UNLESS NOTED OTHERWISE
3. DOUBLE FLOOR JOISTS (GLUE & NAIL) AT ALL LOCATIONS WHERE WALLS ABOVE ARE PARALLELED. REFERENCE TRUSS SHOP DRAWINGS WHERE APPLICABLE
4. FRAMER TO REFERENCE ELECTRICAL PLANS AND ADJUST FLOOR JOISTS TO ACCOMMODATE PLACEMENT OF RECESSED GAINS
5. STEEL BEAMS ARE UNDER FLOOR SYSTEM UNLESS NOTED OTHERWISE
6. FLOORING TO BE 3/4" OXBOARD T&G GLUED & NAILED UNLESS NOTED OTHERWISE
7. FRAMER TO AVOID PLACING JOISTS UNDER MAIN LEVEL STOOL LOCATIONS
8. PROVIDE 1" WATERFALL FOR SPRINKLER SYSTEM
9. (1) #5 BAR (VERTICAL) REQUIRED IN SLUSHED CORES @ BEAM POCKET LOCATIONS
10. DEPTH OF BEAM POCKET SHALL BE THE NOMINAL DEPTH OF THE BEAM + 1" UNO ($EX > W/2X40 = 12" + 1" = 13"$ DEEP BEAM POCKET)
11. (1) #5 BAR REQUIRED IN SLUSHED CORES AT 3" DIAM. STEEL BEARING LOCATIONS
12. WINDOWS SHALL BE OR EQUAL UNLESS OTHERWISE NOTED
13. STANDARD HEADER HEIGHT FOR LOWE LEVEL WINDOWS SHALL BE 8'-0 1/2" U.N.O.
14. FRAMER TO VERIFY ALL OPENINGS TO ACCEPT 3" CASING
15. ■ - SLOOT BEARING THAT TERMINATES AT FOOTINGS

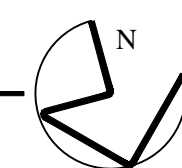
NOTICE TO BUILDERS USING WOOD
I-JOISTS OR FLOOR/ROOF TRUSSES
SPAN TABLES/SPECS SHEETS FROM MANUFACTURER
MUST BE INCLUDED WITH THE APPROVED PLANS
AT THE FRAMING INSPECTION



R310.1 EMERGENCY EGRESS OPENING REQUIRED

Basements with habitable spaces, habitable attics and every sleeping rooms shall have at least one openable emergency egress window or exterior door opening for emergency escape and rescue. Where the openings are provided as a means of escape and rescue, they shall have a sill height of not more than 44 inches. The minimum net clear height dimension shall be 24 inches. The minimum net clear width dimension shall be 20 inches. The minimum net clear opening shall be 5.7square feet.

FOUNDATION PLAN

$$\overline{1/4'' = 1'-0}$$


00004 - RESB (Mike Grothe)
ELEVATOR SHAFT FRAMING PER
MANUFACTURERS FRAMING.

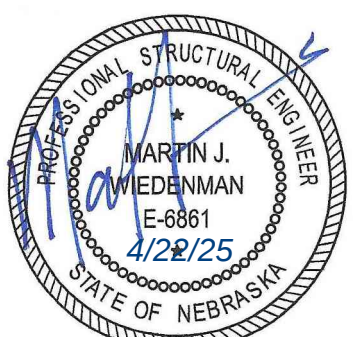
 emahe Environmental Management Agency	1. ONE SET OF APPROVAL PLANS SHALL BE KEPT ON THE JOB/SITE AND SHALL BE AVAILABLE TO INSPECTORS AT ALL TIMES. 2. THIS PERMIT DOES NOT GRANT APPROVAL TO VIOLATE ANY ORDINANCE OF THE JURISDICTION, STATE, OR FEDERAL LAW. 3. A PERMIT MAY BE REVOKED WHENEVER THE PERMIT IS ISSUED IN ERROR OR DUE TO INADEQUATE INFORMATION SUPPLIED. 4. THE PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING CONTRIBUTION TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES. 5. THE PERMIT IS VALID FOR 30 MONTHS IF AN INITIAL INSPECTOR OCCURS WITHIN 6 MONTHS OF ISSUANCE.
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LOT 144
SCHACHINE RESIDENCE
13651 CUMING ST OMAHA NE 68154



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PLAN DATE 12/24/2024	
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REV 02	04/10/25
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JOB NUMBER
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DESCRIPTION
FOUNDATION PLAN
PLAN SHEET
A1.01

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PLAN NOTES:

- FRAMER TO VERIFY ALL CASED OPENINGS TO ACCEPT 3 1/2" CASING.
- AT SLOPED CEILING LOCATIONS PROVIDE FURRING TO ACCOMMODATE INSULATION (DEPTH TO EQUAL 2X10 U.O.
- STANDARD HEADER HEIGHT FOR UPPER LEVEL WINDOWS SHALL BE 7'-0 1/2" UNLESS NOTED OTHERWISE
- - SOLID BEARING THAT TERMINATES AT FOOTINGS
- WINDOWS SHALL BE MARVIN ULTIMATE NARROW FRAME OR EQUAL UNLESS NOTED OTHERWISE
- ALL LVL MEMBERS SHALL BE 1,8E GRADE OR BETTER WITH A MINIMUM FLEXURAL STRESS (FB) OF 2,250 PSI OR BETTER.
- ALL EXTERIOR WALLS ARE 6" (5 1/2" STUD + 1/2" SHEATHING) & ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE.
- ALL LVL MEMBERS SHALL BE 1,8E GRADE OR BETTER WITH A MINIMUM FLEXURAL STRESS (FB) OF 2,250 PSI OR BETTER.

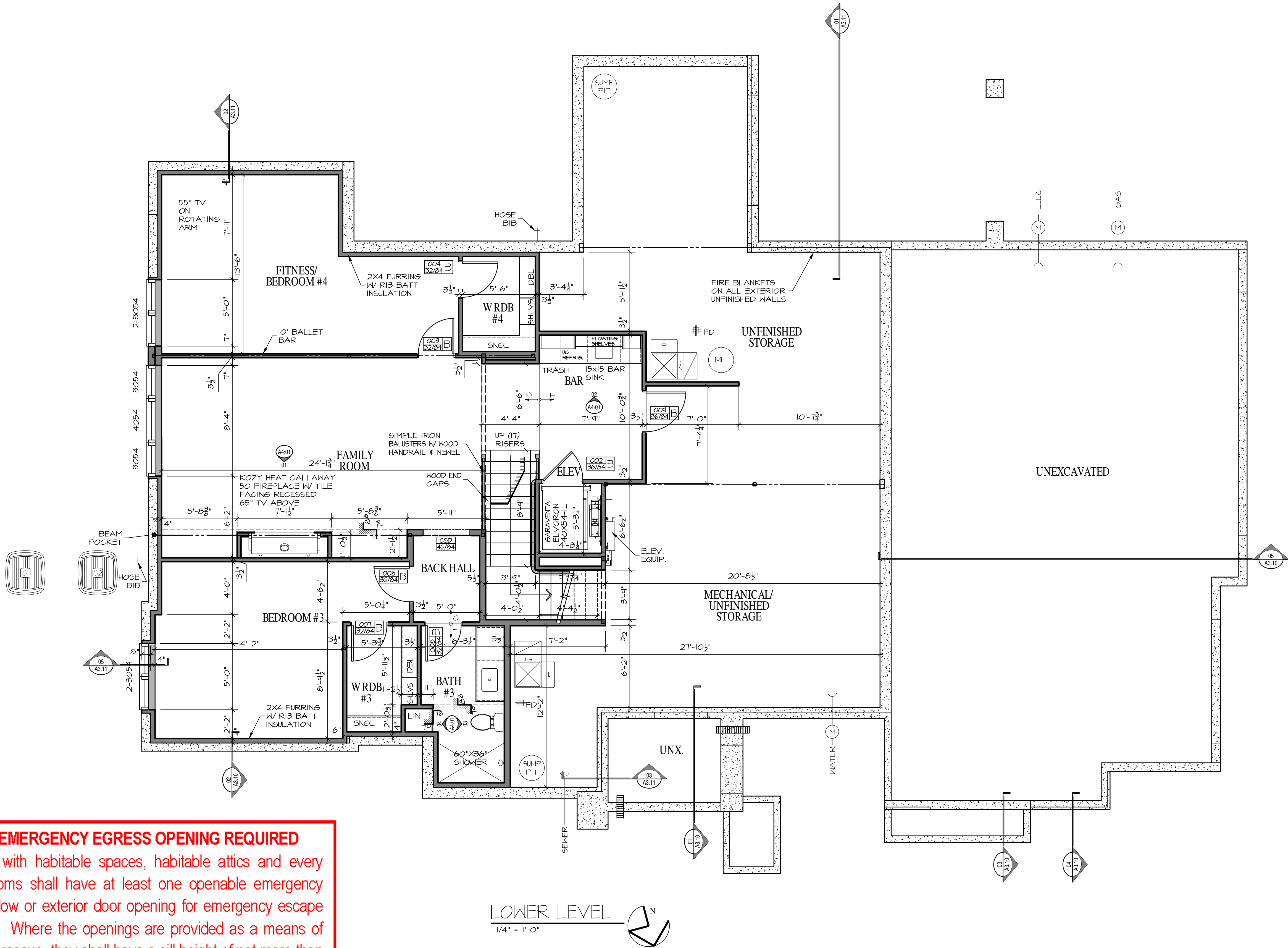
BIDDING NOTES:

- LOWER LEVEL TO BE ON SEPARATE ZONE FROM MAIN LEVEL
- BID SOFT WATER AS ALTERNATE

A/C UNITS
CANNOT BE
INSTALLED IN
ANY REQUIRED
SETBACK

R310.1 EMERGENCY EGRESS OPENING REQUIRED

Basements with habitable spaces, habitable attics and every sleeping rooms shall have at least one operable emergency egress window or exterior door opening for emergency escape and rescue. Where the openings are provided as a means of escape and rescue, they shall have a sill height of not more than 44 inches. The minimum net clear height dimension shall be 24 inches. The minimum net clear width dimension shall be 20 inches. The minimum net clear opening shall be 5.7square feet.



LOWER LEVEL
1/4" = 1'-0"

SQUARE FOOTAGES

LOWER LEVEL 1214

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LOT 144

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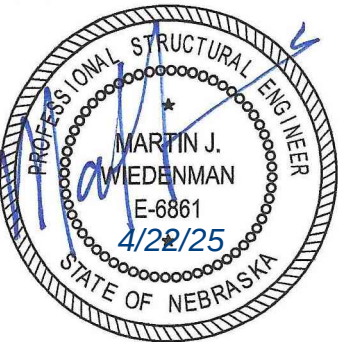
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LOWER LEVEL FLOOR PLAN
PLAN SHEET
A1.02

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PLAN NOTES:

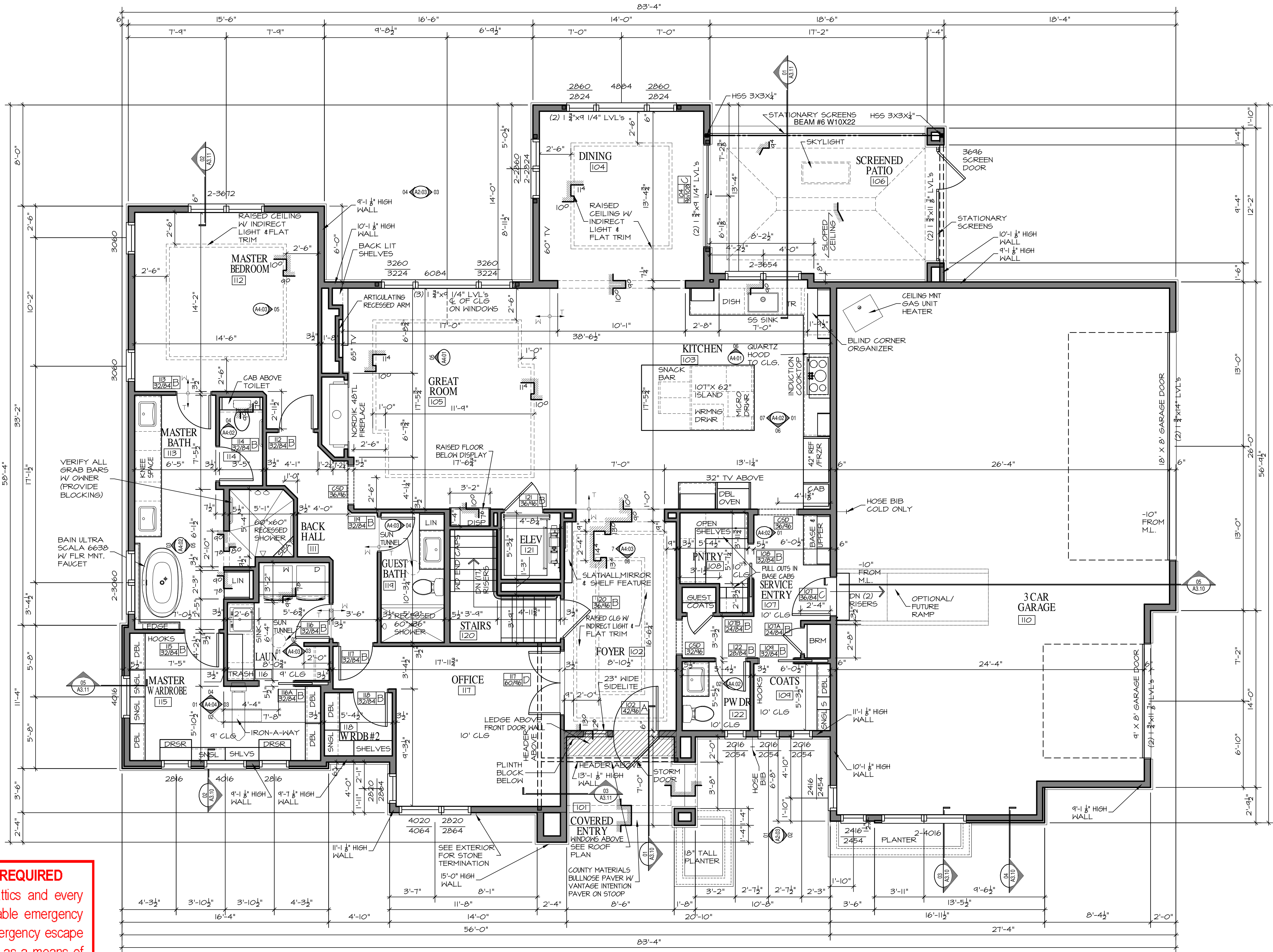
- DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS ARE AT 45° UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALL FRAMING ON MAIN LEVEL TO BE 2X6 CONSTRUCTION UNLESS NOTED OTHERWISE.
- DOUBLE FLOOR JOISTS (GLUE & NAIL) AT ALL LOCATIONS WHERE WALLS & ABOVE ARE PARALLEL. REFERENCE TRUSS SHOP DRAWINGS WHERE APPLICABLE.
- FRAMER TO REFERENCE ELECTRICAL PLANS AND ADJUST FLOOR JOISTS TO ACCOMMODATE PLACEMENT OF RECESSED CANS.
- STEEL & WOOD BEAMS ARE WITHIN FLOOR OR CEILING SYSTEM UNLESS NOTED OTHERWISE.
- FLOORING TO BE 3/4" O.S.B. T&G GLUED & NAILED UNLESS NOTED OTHERWISE.
- FRAMER TO VERIFY ALL CASING OPENINGS TO ACCEPT 4" CASING.
- STANDARD HEADER HEIGHT FOR WINDOWS SHALL BE 8'-0 1/2" U.N.O.
- AT SLOPED CEILING LOCATIONS PROVIDE 2X10'S MINIMUM TO ACCOMMODATE R30 BATT INSULATION.
- PROVIDE BLOWN-IN INSULATION IN ALL EXTERIOR WALLS. SOUND INSULATION SHALL BE BATT UNLESS NOTED OTHERWISE.
- SOLID BEARING THAT TERMINATES AT FOOTINGS.
- WINDOWS SHALL BE MARVIN ULTIMATE NARROW FRAME OR EQUAL UNLESS NOTED OTHERWISE.
- ALL LVL MEMBERS SHALL BE L&E GRADE OR BETTER WITH A MINIMUM FLEXURAL STRESS (FB) OF 2,250 PSI OR BETTER.
- ALL EXTERIOR WALLS ARE 6" (5 1/2" STUD + 1/2" SHEATHING) & ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE.

BIDDING NOTES:

- PROVIDE 240V CHARGING STATION FOR ELECTRIC CAR.
- ALTERNATE BID FOR GENERATOR FOR REFRIG., HVAC.
- OPTIONAL IN FLOOR HEAT IN MASTER BATH

NOTICE TO BUILDERS USING WOOD I-JOISTS OR FLOOR/ROOF TRUSSES

SPAN TABLES/SPECS SHEETS FROM MANUFACTURER MUST BE INCLUDED WITH THE APPROVED PLANS AT THE FRAMING INSPECTION

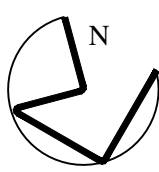


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MAIN LEVEL

1/4" = 1'-0"



SQUARE FOOTAGES

LOWER LEVEL	59 FT
MAIN LEVEL	1214
TOTAL	2431
3 CAR GARAGE	1042
COVERED PATIO	230

omaha

NE

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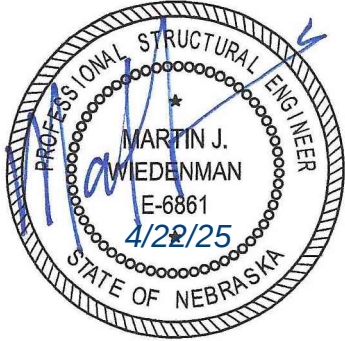
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PLAN DATE 12/24/2024	
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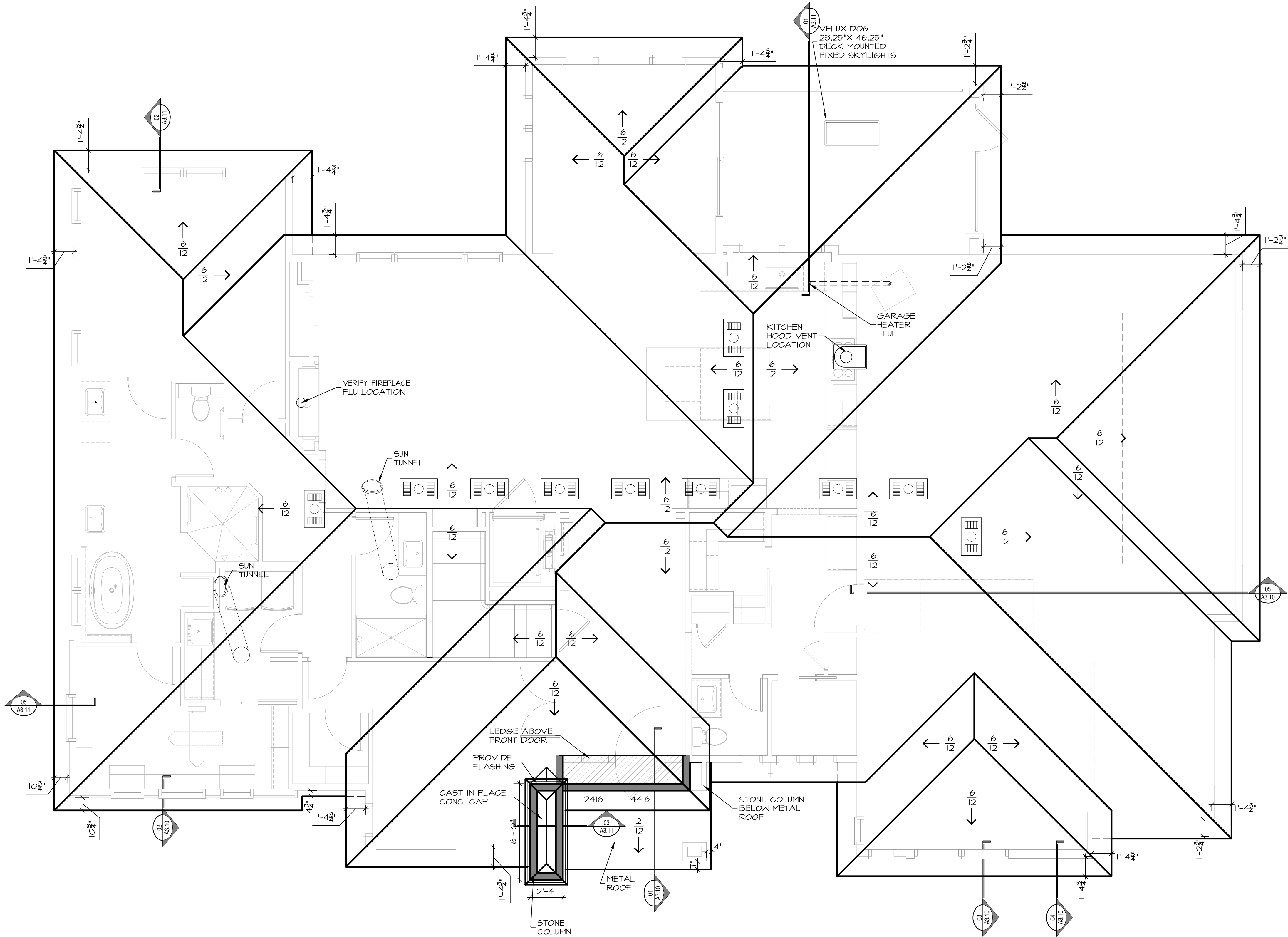
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DESCRIPTION	
MAIN LEVEL FLOOR PLAN	
PLAN SHEET	
A1.03	

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HOME PAGE: A0.01

ROOF NOTES:

1. ROOF MATERIAL SHALL BE ASPHALT SHINGLES. VERIFY SELECTION AND COLOR PRIOR TO ORDERING AND INSTALLATION.
2. ROOF FRAMING TO BE TRUSSES. PROVIDE HIP AND JACK TRUSSES AT HIP LOCATIONS. VERIFY GIRDER LOCATIONS WITH PLAN BEARING.
3. ALL GUTTERS & DOWNSPOUTS SHALL BE PRIMED GALVANIZED COLOR TO BE VERIFIED w/ HOMEOWNER
4. ROOF VENTS TO BE OHAGIN FLAT SERIES OR EQUAL. SOFFITS TO BE VENTED SOFFIT.
5. ■ -SOLID BEARING THAT TERMINATES AT FOOTINGS.



ROOF PLAN
1/4" = 1'-0"

NOTICE TO BUILDERS USING WOOD I-JOISTS OR FLOOR/ROOF TRUSSES
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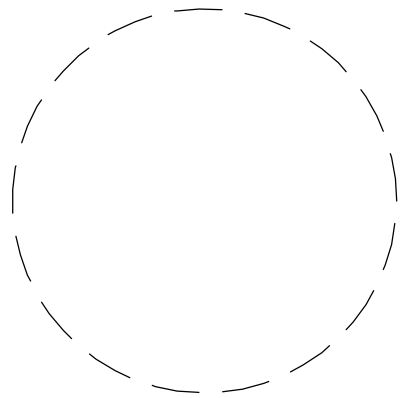
LOT 144

SCHACHNE RESIDENCE

13651 CUMING ST OMAHA NE 68154

McNEIL COMPANY
4666 South 132nd Street
Omaha, NE 68137
402-333-1462
mcneilcompany.com

PLAN DATE 12/24/2024	
REV.	DATE
PERMIT	03/13/25
REV 01	03/28/25
REV 02	04/10/25
REV 03	04/14/25
REV 04	04/22/25



JOB NUMBER
15-2451
DESCRIPTION
ROOF PLAN
PLAN SHEET
A1.04

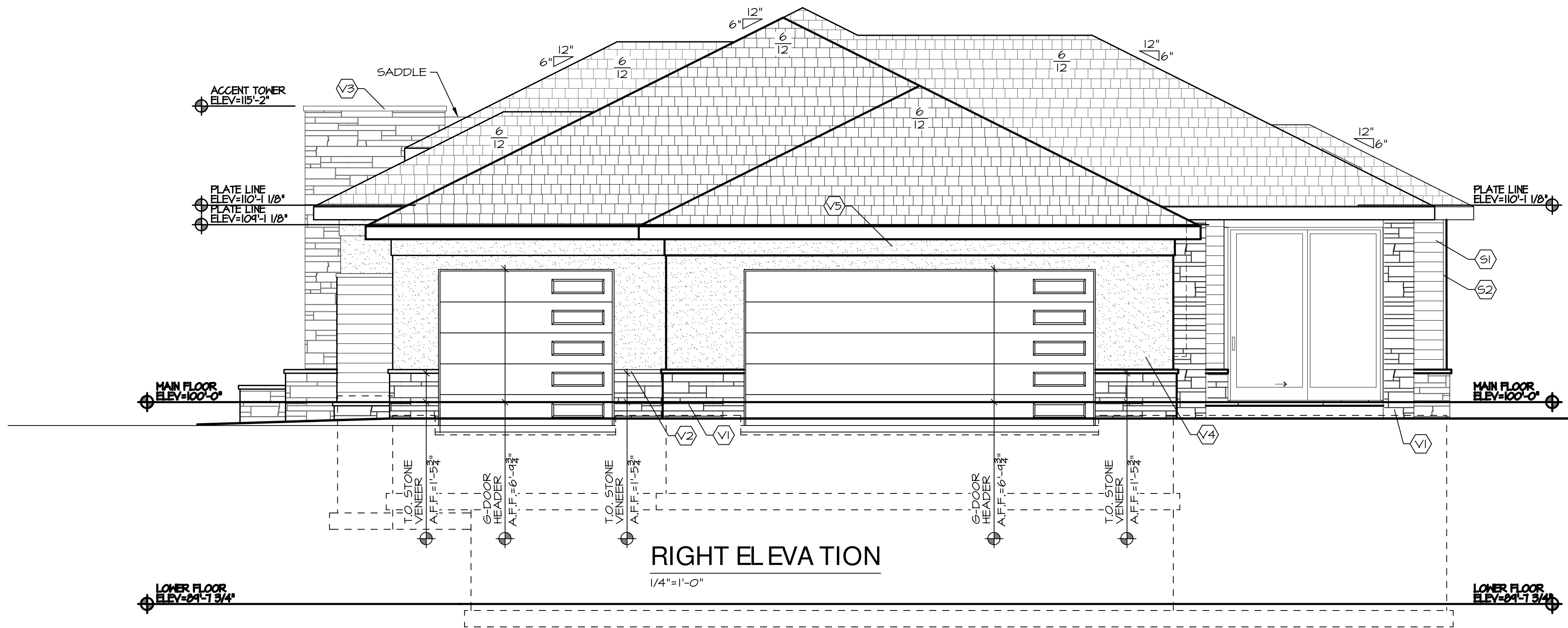
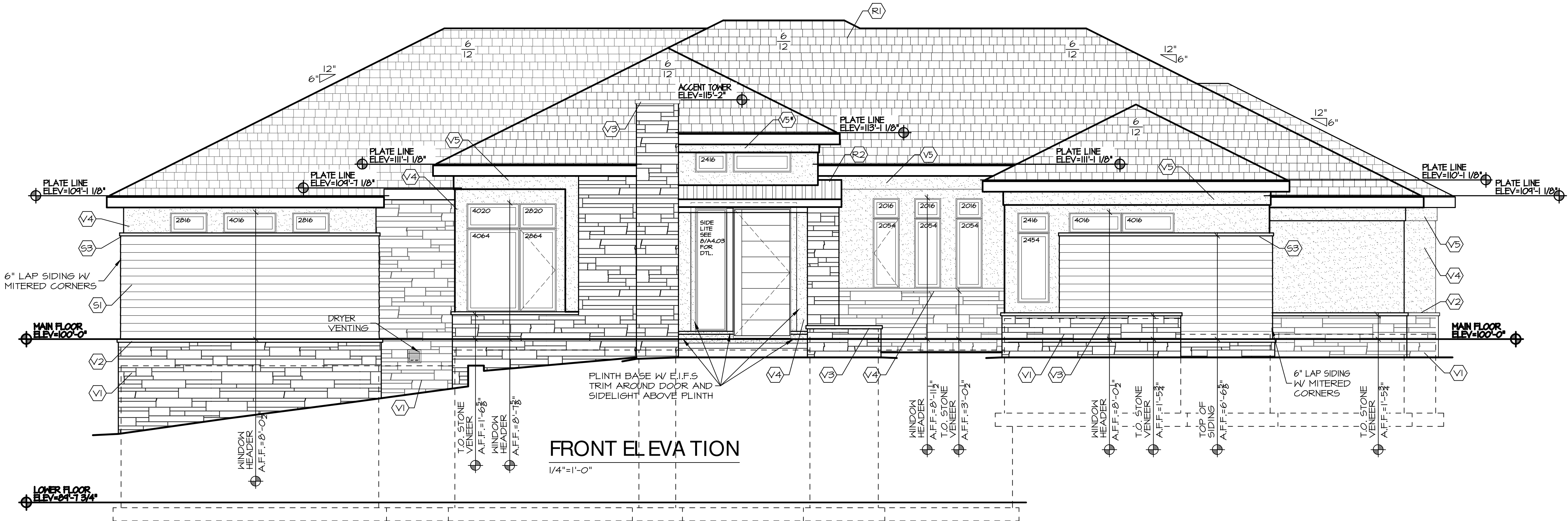
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PLOT DATE: 4/24/2025
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HOME PAGE: A0.01

EXTERIOR MATERIALS

- V1 EXTERIOR MATERIAL
TYPE-THIN STONE
COLOR-TBD
- V2 EXTERIOR MATERIAL
TYPE-THIN STONE CAP
COLOR-TBD
- V3 EXTERIOR MATERIAL
TYPE-CARVED STONE CAP
COLOR-TBD
- V4 EXTERIOR MATERIAL
TYPE-EIFS
COLOR-TBD
- V5 EXTERIOR MATERIAL
TYPE-10"X1" EIFS BAND
COLOR-TBD
- V5* EXTERIOR MATERIAL
SIMILAR TO V5 BUT A
VARIED HEIGHT
- S1 EXTERIOR MATERIAL
TYPE-SIDING
6" LAP SIDING
- S2 EXTERIOR MATERIAL
TYPE-TRIM
2.5" TRIM TO MATCH SIDING
- S3 EXTERIOR MATERIAL
TYPE-TRIM
3" PVC SILL
- R1 EXTERIOR MATERIAL
TYPE-DAVINGI PROVINCE SLATE
COLOR-TBD
- R2 EXTERIOR MATERIAL
TYPE-METAL ROOFING
COLOR-TBD



omaha

NE

NE

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LOT 144

SCHACHNE RESIDENCE

13651 CUMING ST OMAHA NE 68154

MCNEIL

COMPANY

4666 South 132nd Street
Omaha, NE 68137
402-333-1462
mcneilcompany.com

PLAN DATE 12/24/2024	
REV.	DATE
PERMIT	03/13/25
REV 01	03/28/25
REV 02	04/10/25
REV 03	04/14/25
REV 04	04/22/25

JOB NUMBER
15-2457
DESCRIPTION
FRONT AND RIGHT EXTERIOR ELEVATIONS
PLAN SHEET
A2.01

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- V1) EXTERIOR MATERIAL
TYPE-THIN STONE
COLOR-TBD
- V2) EXTERIOR MATERIAL
TYPE-THIN STONE CAP
COLOR-TBD
- V3) EXTERIOR MATERIAL
TYPE-CARVED STONE CAP
COLOR-TBD
- V4) EXTERIOR MATERIAL
TYPE-EIFS
COLOR-TBD
- V5) EXTERIOR MATERIAL
TYPE-10"X1" EIFS BAND
COLOR-TBD
- V6) EXTERIOR MATERIAL
SIMILAR TO V5 BUT A
VARIED HEIGHT
- S1) EXTERIOR MATERIAL
TYPE-SIDING
6" LAP SIDING
- S2) EXTERIOR MATERIAL
TYPE-TRIM
2.5" TRIM TO MATCH SIDING
- S3) EXTERIOR MATERIAL
TYPE-TRIM
3" FVG SILL
- R1) EXTERIOR MATERIAL
TYPE-DAVINCI PROVINCE SLATE
COLOR-TBD
- R2) EXTERIOR MATERIAL
TYPE-METAL ROOFING
COLOR-TBD



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COMPANY
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mcneilcompany.com

JOB NUMBER
15-2457
DESCRIPTION
REAR AND LEFT EXTERIOR ELEVATIONS
PLAN SHEET
A2.02

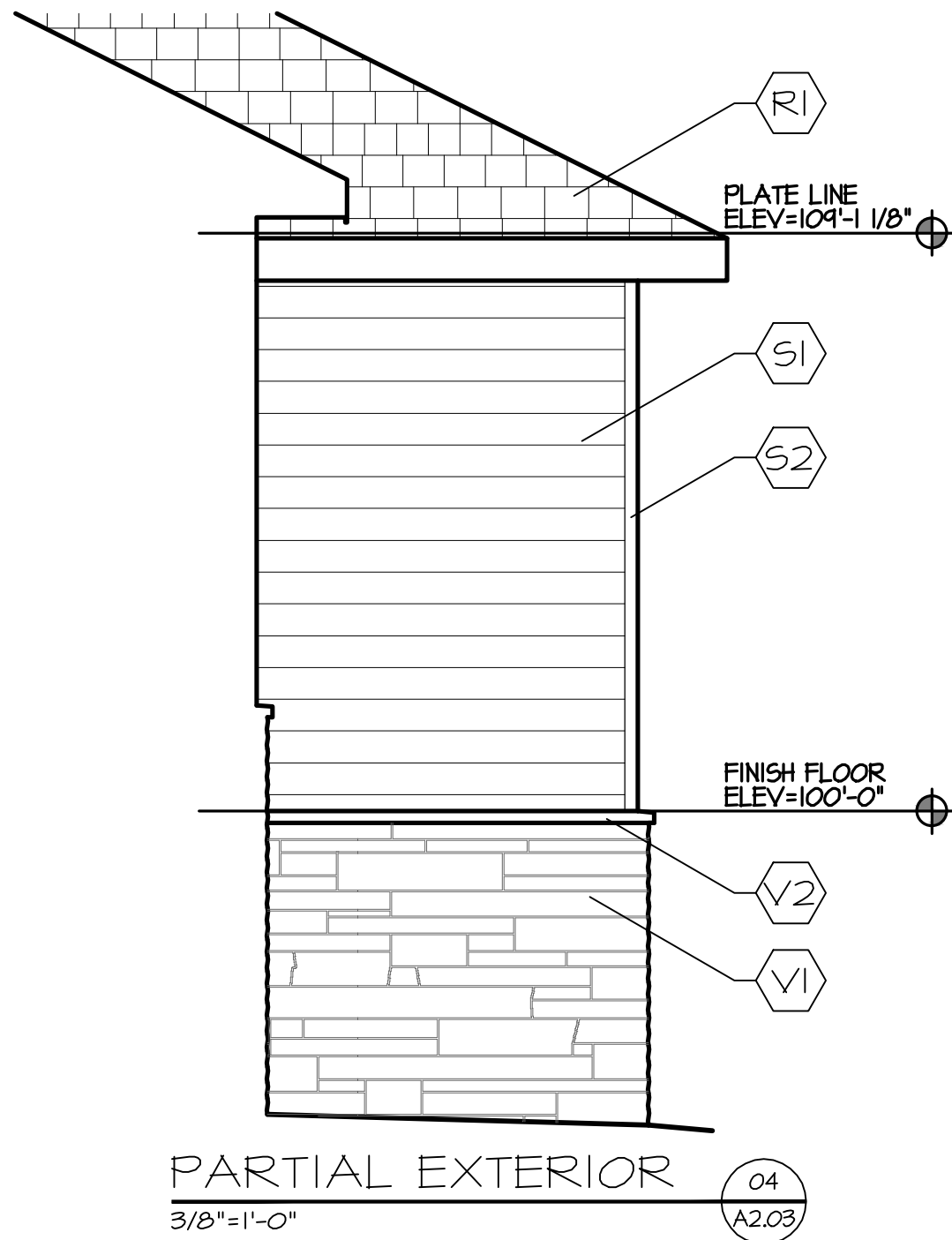
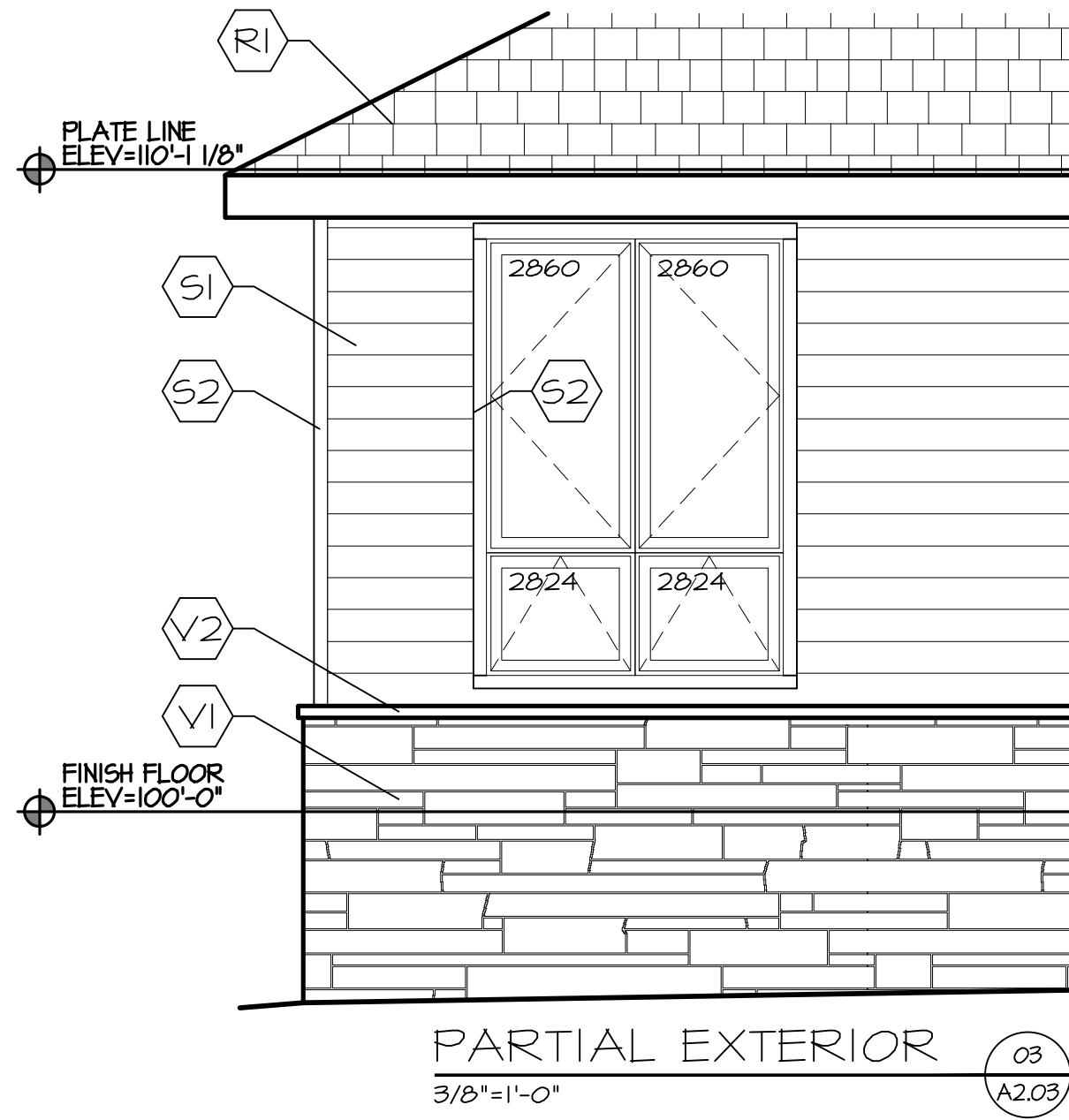
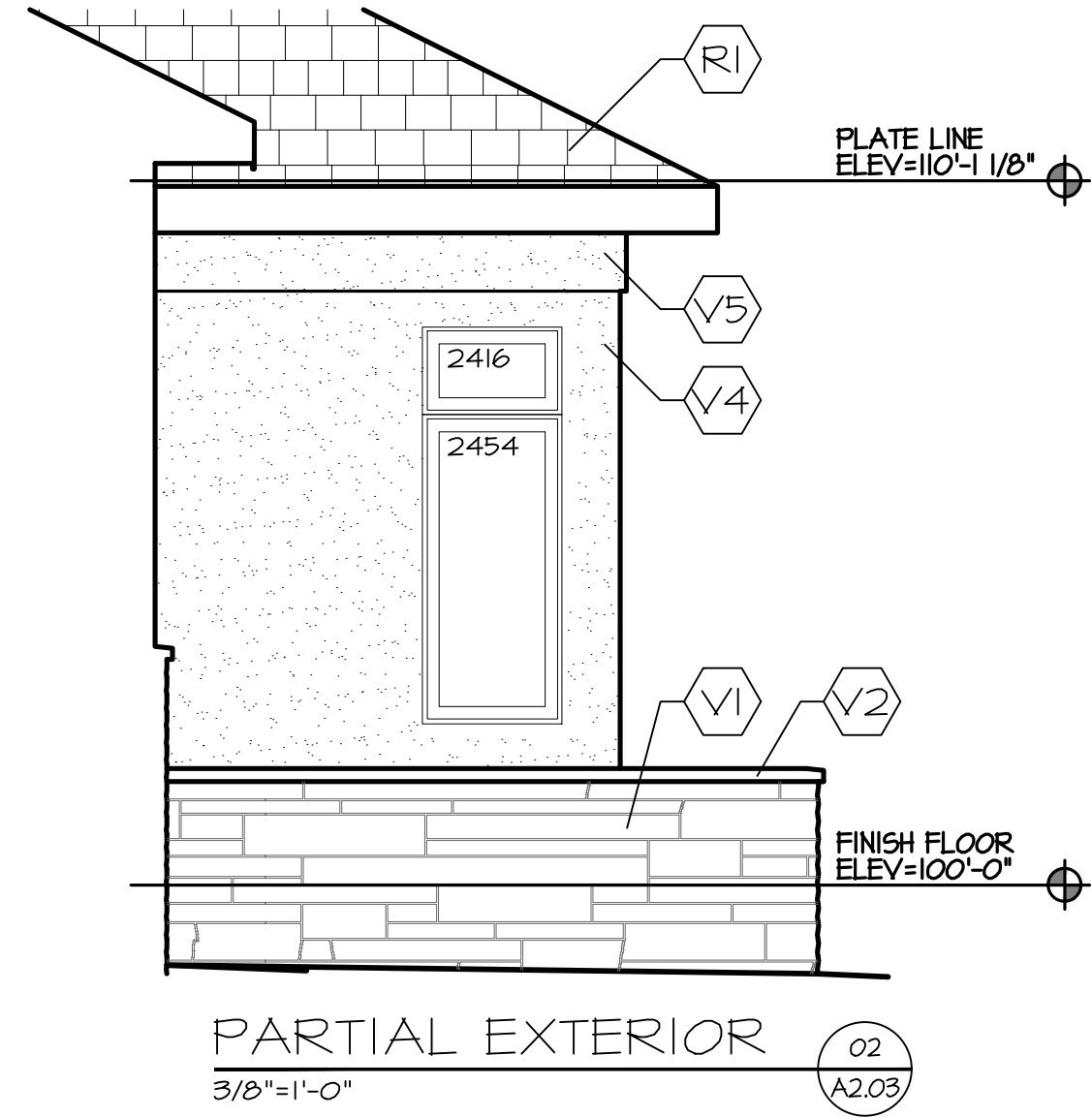
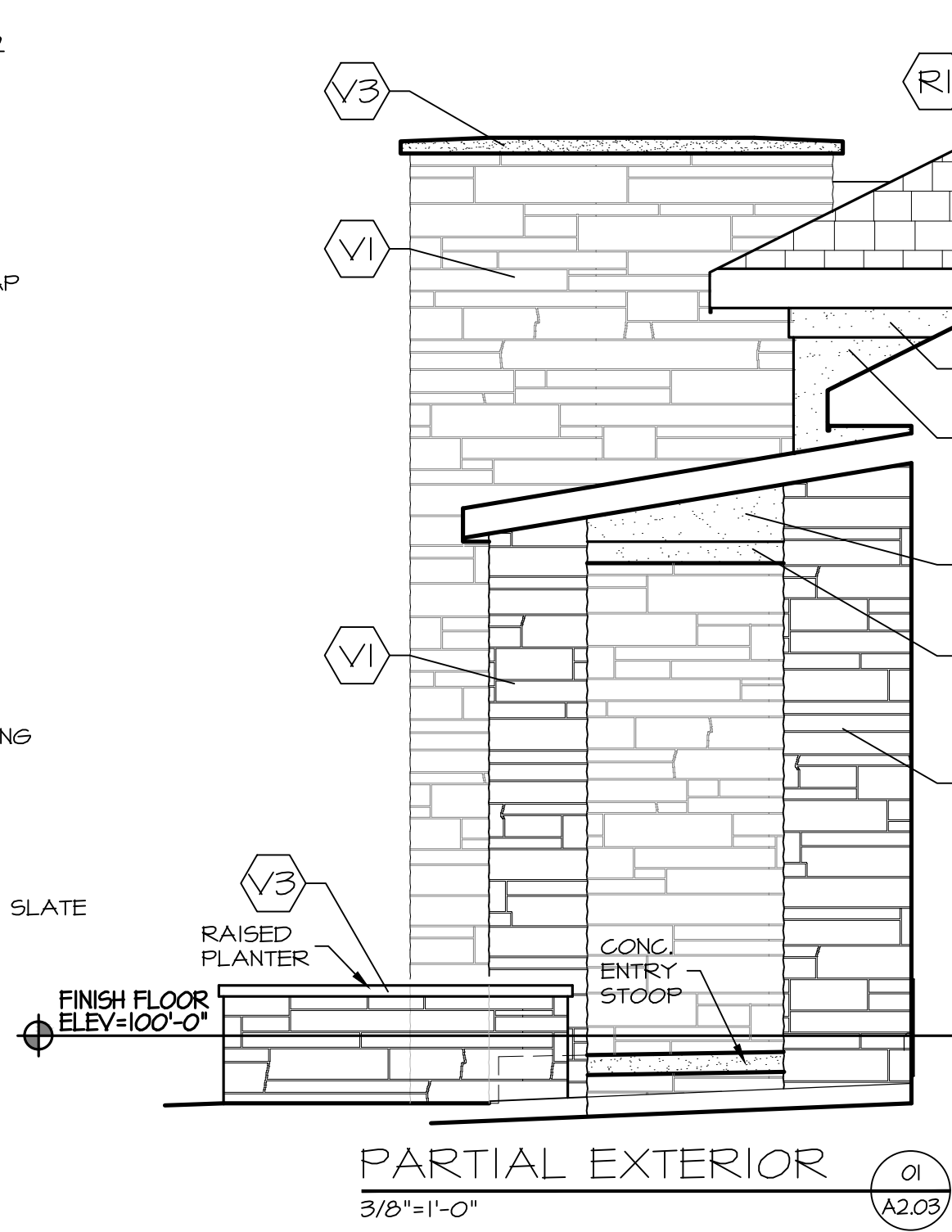
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HOME PAGE: A0.01

EXTERIOR MATERIALS

- V1 EXTERIOR MATERIAL
TYPE-THIN STONE
COLOR-TBD
- V2 EXTERIOR MATERIAL
TYPE-THIN STONE CAP
COLOR-TBD
- V3 EXTERIOR MATERIAL
TYPE-CARVED STONE CAP
COLOR-TBD
- V4 EXTERIOR MATERIAL
TYPE-EIFS
COLOR-TBD
- V5 EXTERIOR MATERIAL
TYPE-10"X1" EIFS BAND
COLOR-TBD
- V5* EXTERIOR MATERIAL
SIMILAR TO V5 BUT A
VARIED HEIGHT
- S1 EXTERIOR MATERIAL
TYPE-SIDING
6" LAP SIDING
- S2 EXTERIOR MATERIAL
TYPE-TRIM
2.5" TRIM TO MATCH SIDING
- S3 EXTERIOR MATERIAL
TYPE-TRIM
3" PVC SILL
- R1 EXTERIOR MATERIAL
TYPE-DAVINGI PROVINCE SLATE
COLOR-TBD
- R2 EXTERIOR MATERIAL
TYPE-METAL ROOFING
COLOR-TBD



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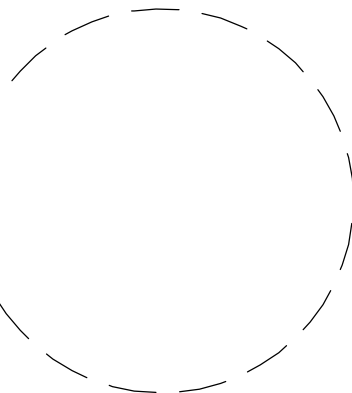
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BLD-25-03331

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LOT 144
SCHACHNE RESIDENCE
13651 CUMING ST OMAHA NE 68154

McNEIL
COMPANY
4666 South 132nd Street
Omaha, NE 68137
402-333-1462
mcneilcompany.com

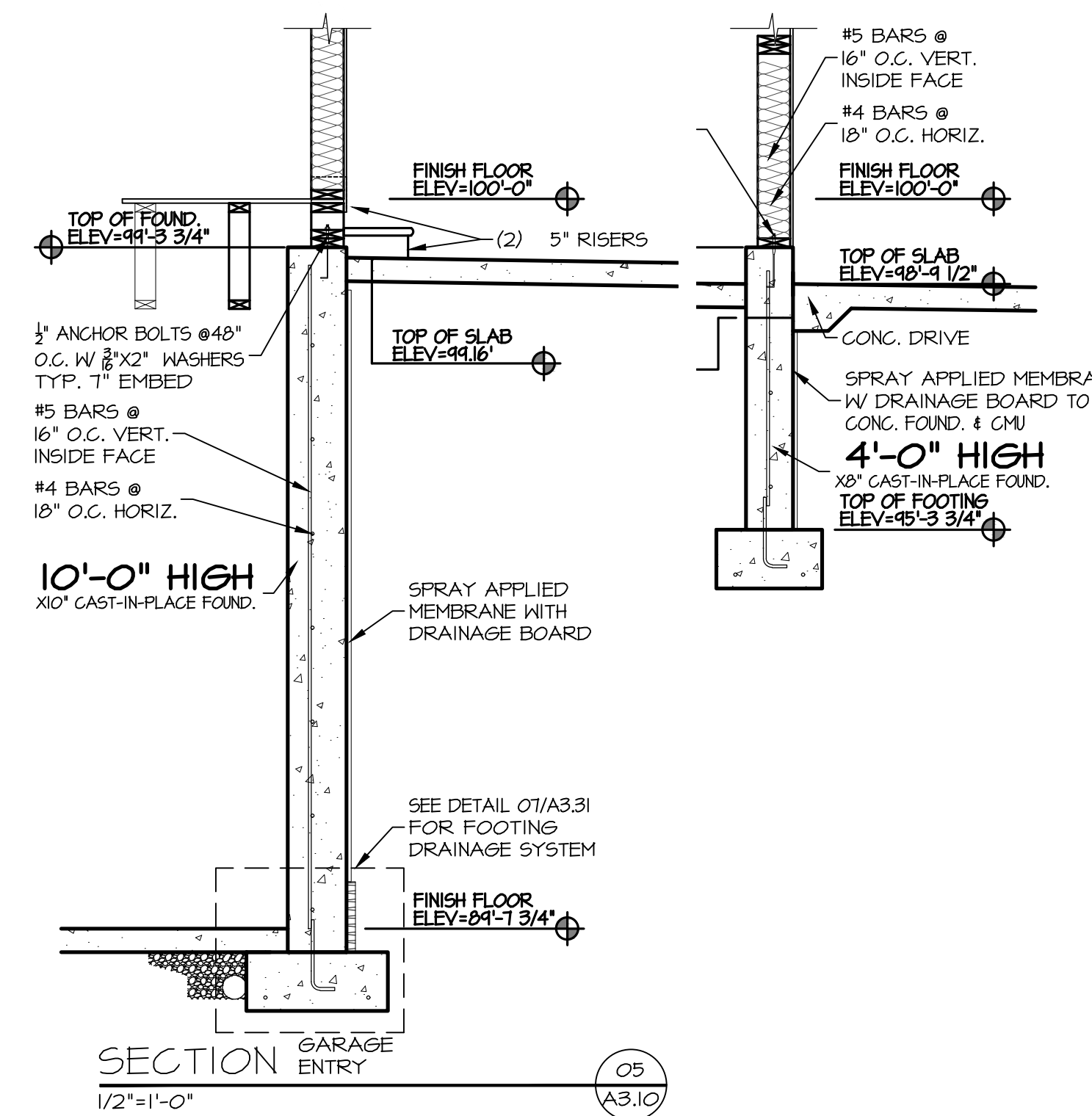
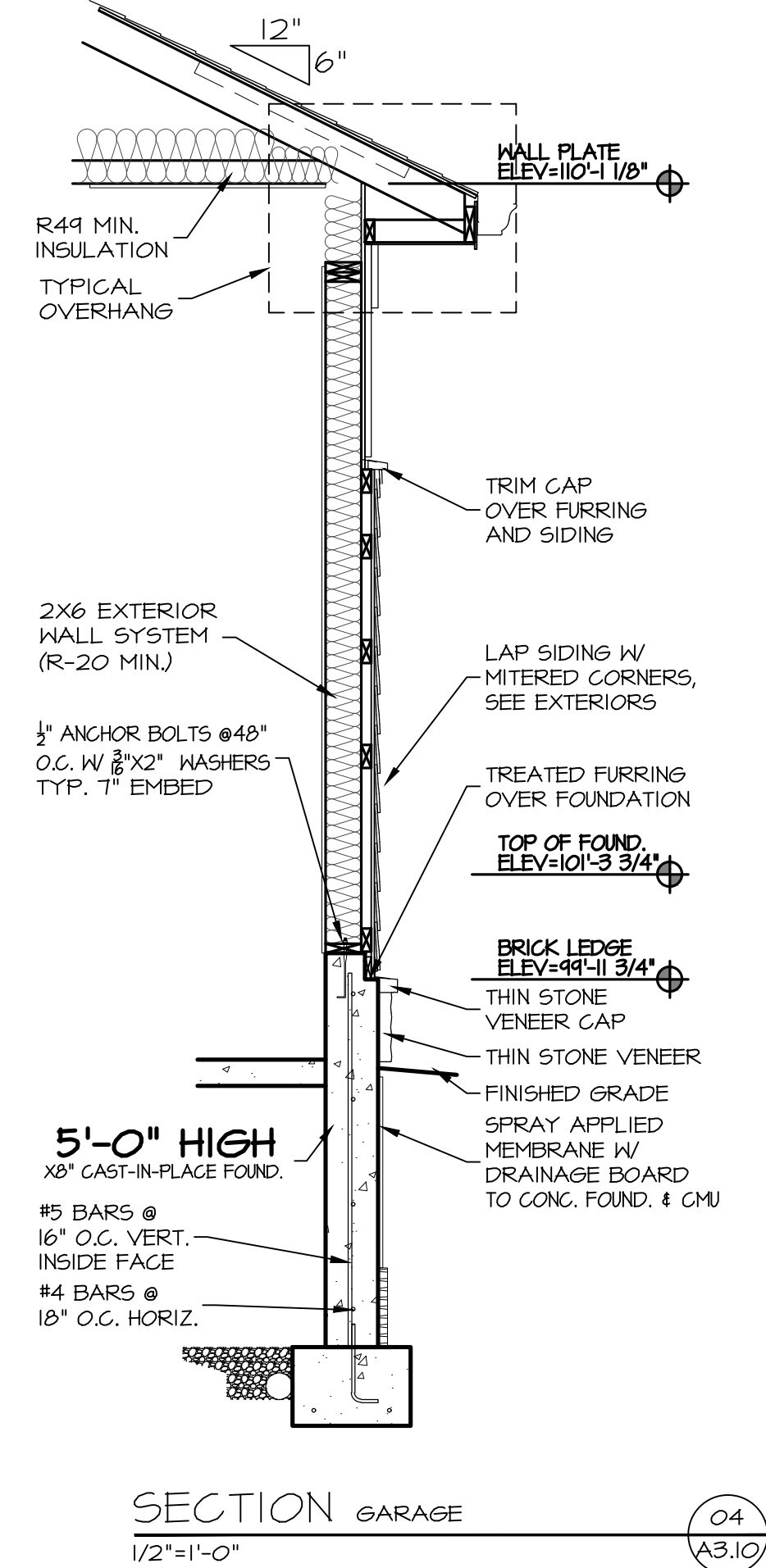
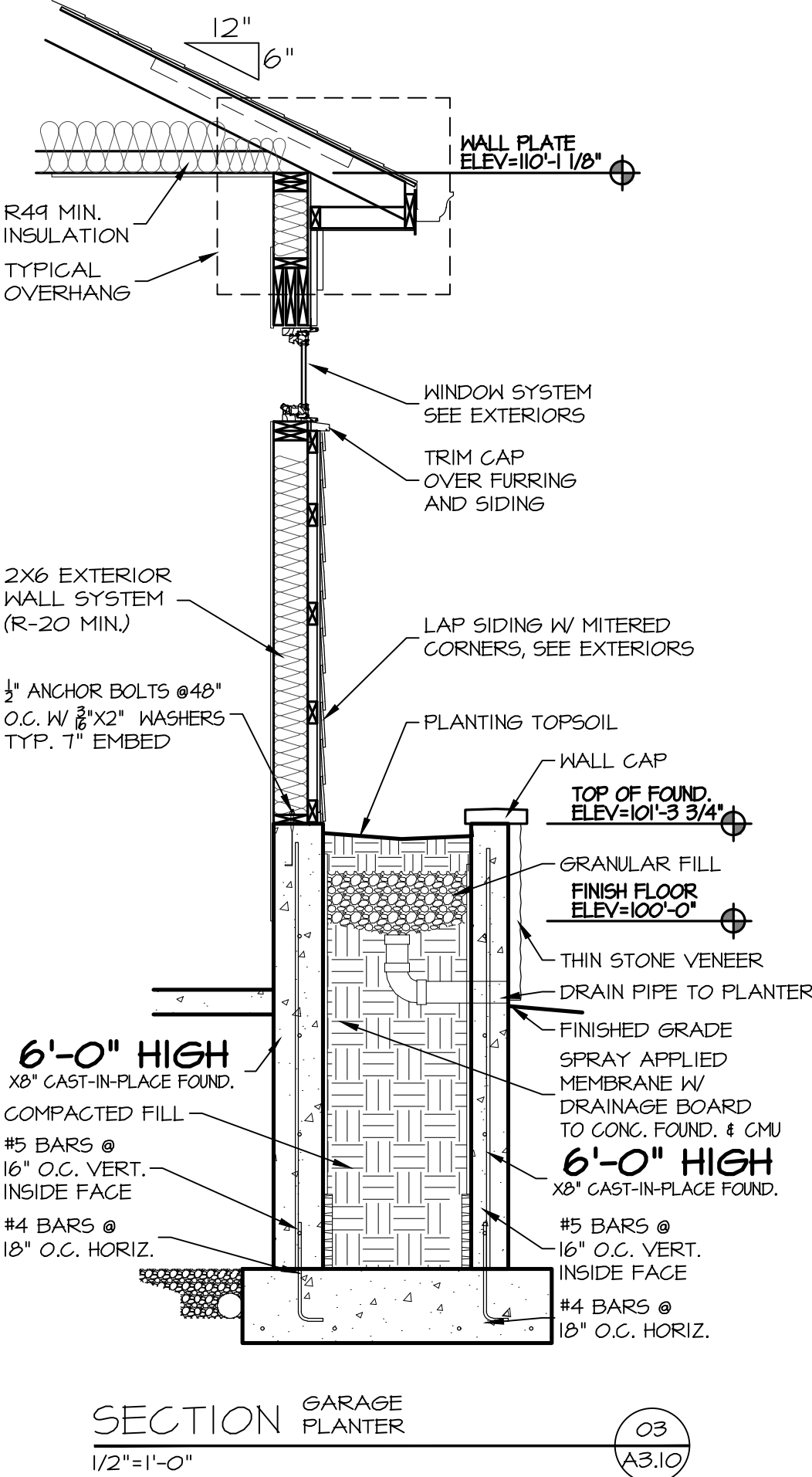
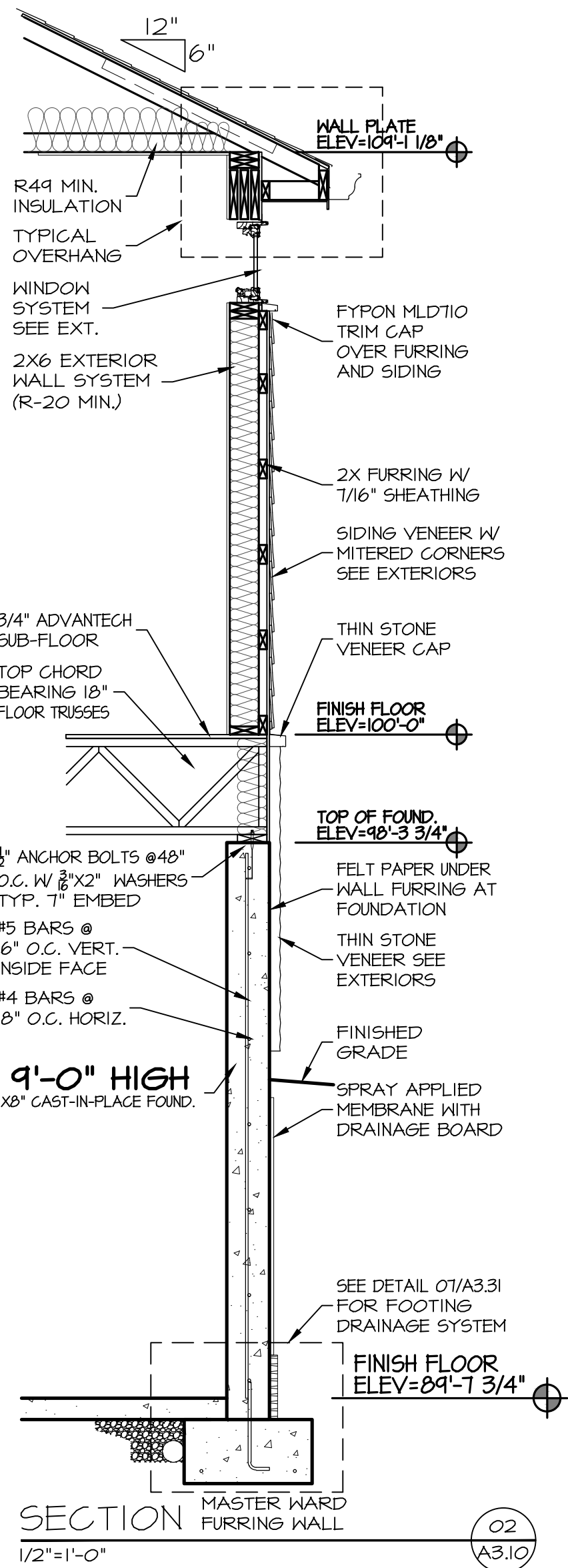
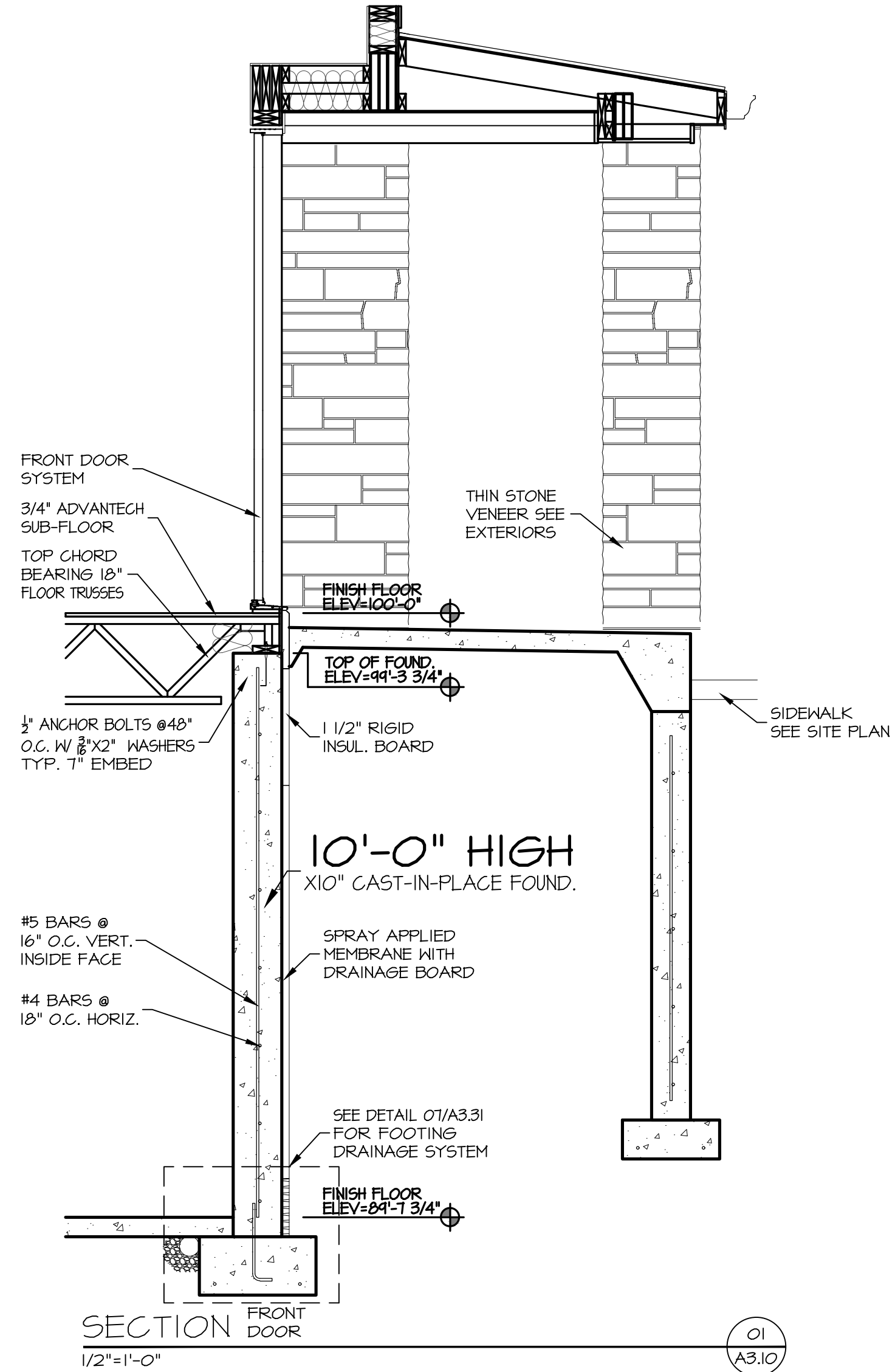
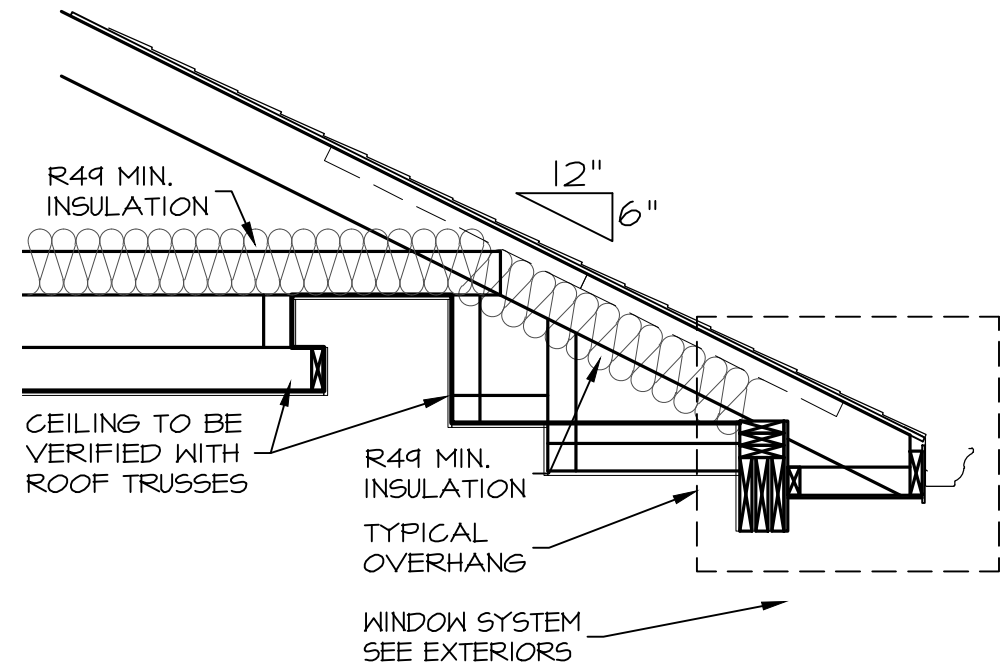
PLAN DATE 12/24/2024	
REV.	DATE
PERMIT	03/13/25
REV 01	03/28/25
REV 02	04/10/25
REV 03	04/14/25
REV 04	04/22/25



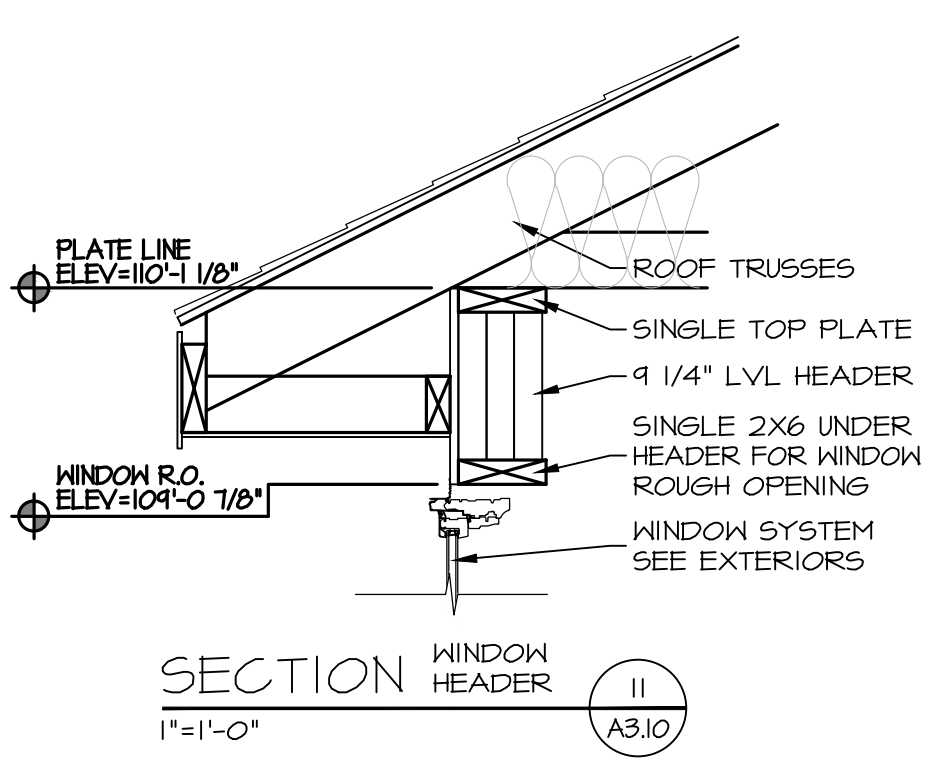
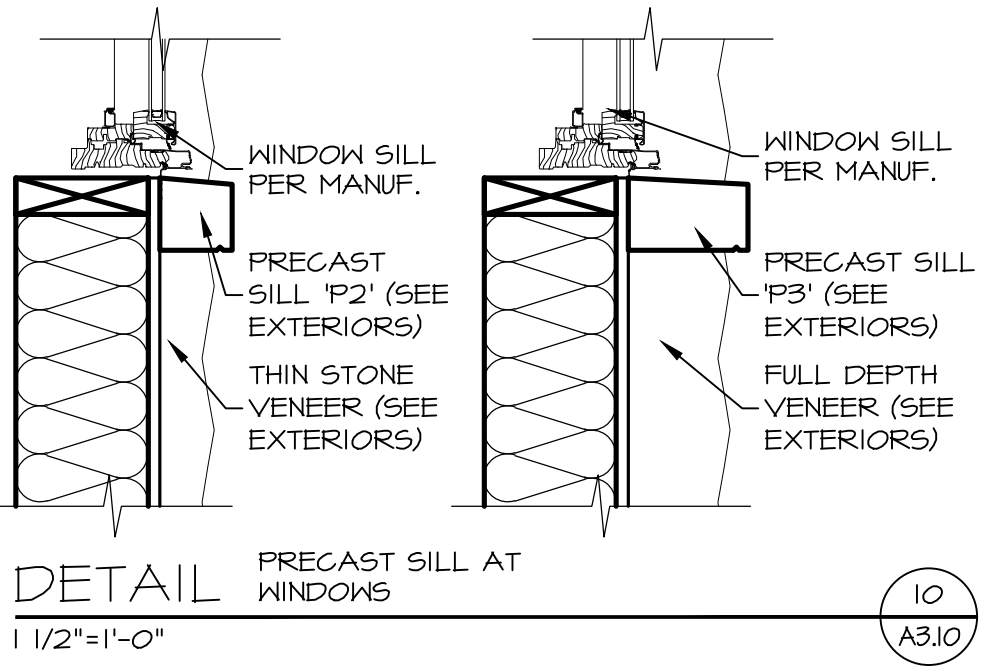
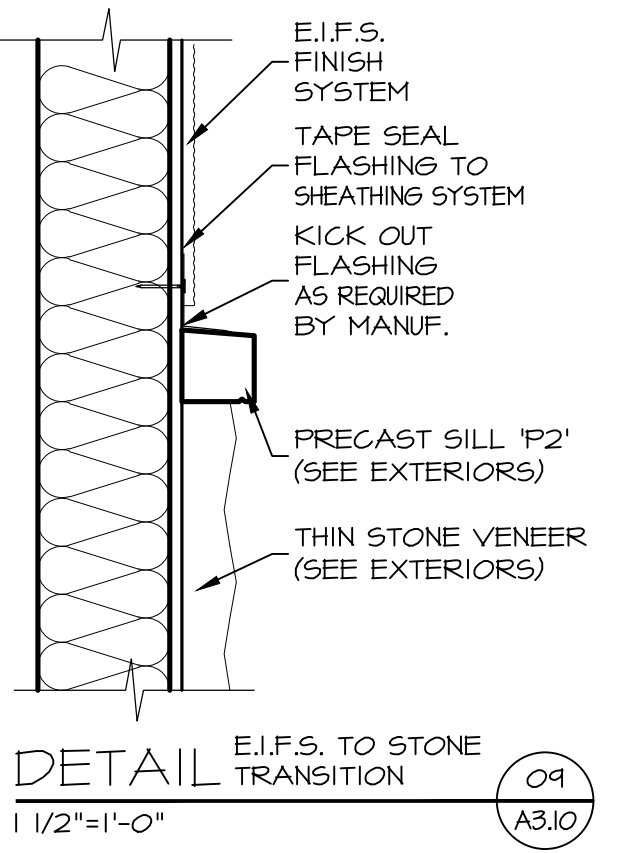
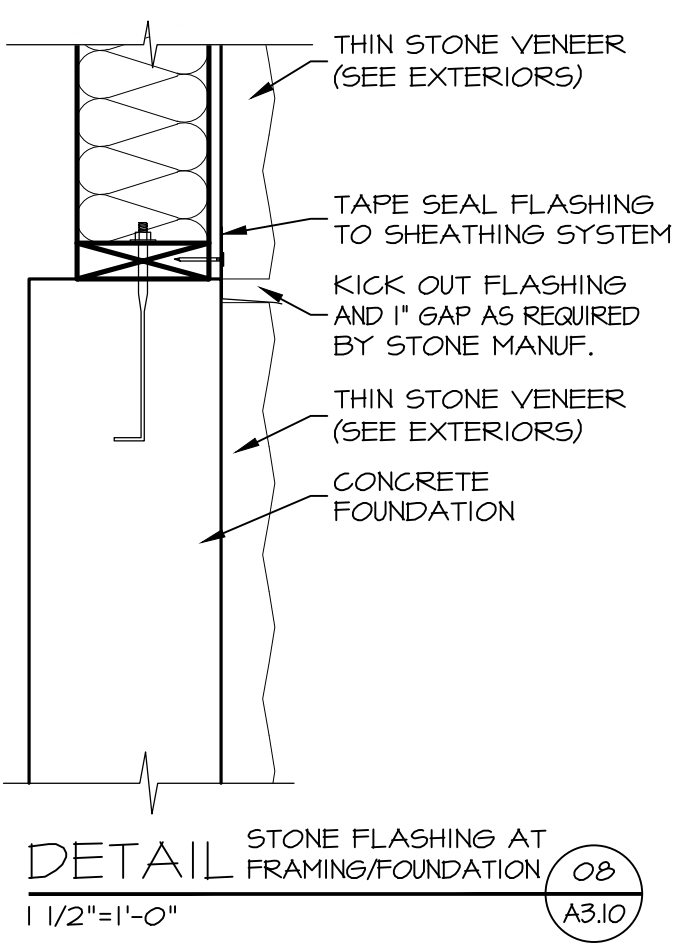
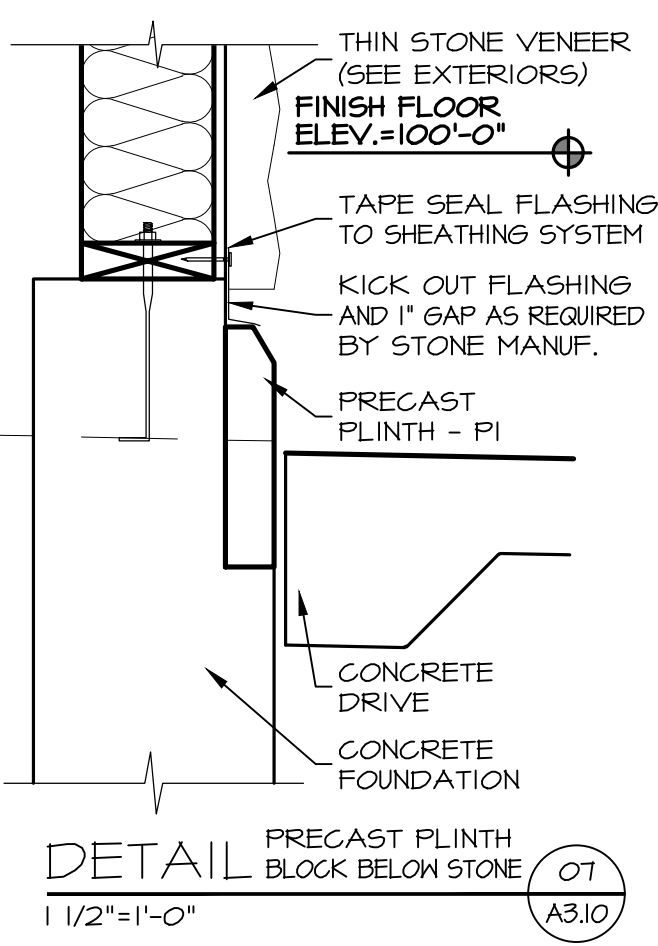
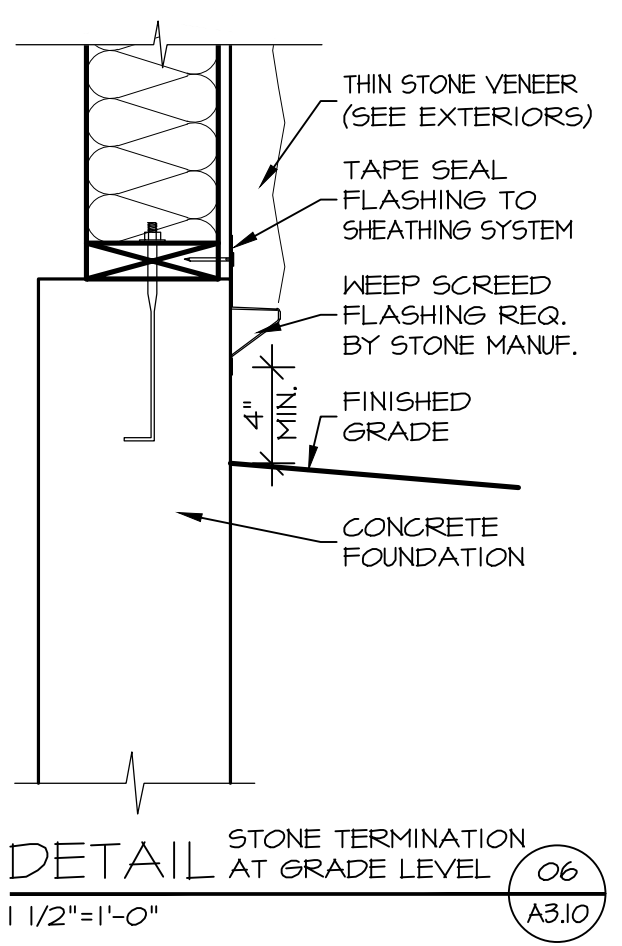
JOB NUMBER
15-2457
DESCRIPTION
PARTIAL
EXTERIOR
ELEVATIONS
PLAN SHEET
A2.03

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PLOT DATE: 4/24/2025
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**Min 42" Below Grade
On All Footings**



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LOT 144

SCHACHNE RESIDENCE

13051 CUMING ST OMAHA NE 68154

McNEIL COMPANY

4666 South 132nd Street
Omaha, NE 68137
402-333-1462
mcneilcompany.com

PLAN DATE 12/24/2024	
REV.	DATE
PERMIT	03/13/25
REV 01	03/28/25
REV 02	04/10/25
REV 03	04/14/25
REV 04	04/22/25



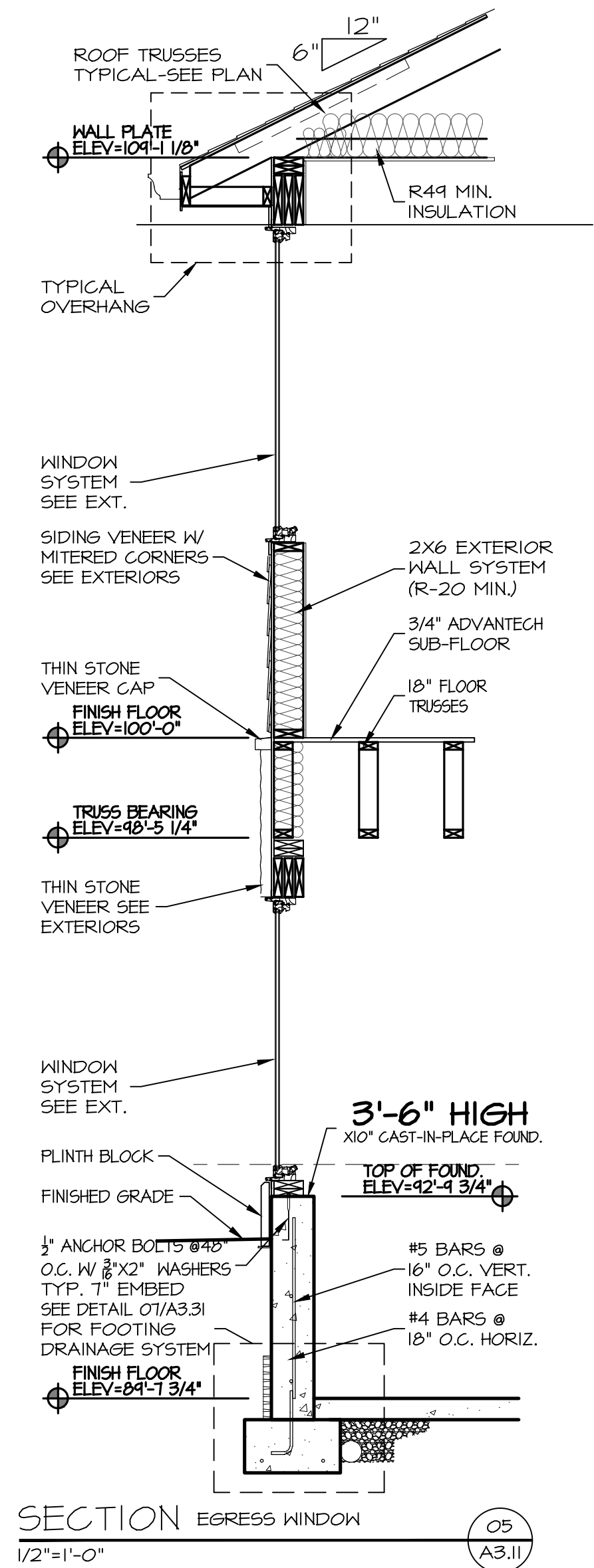
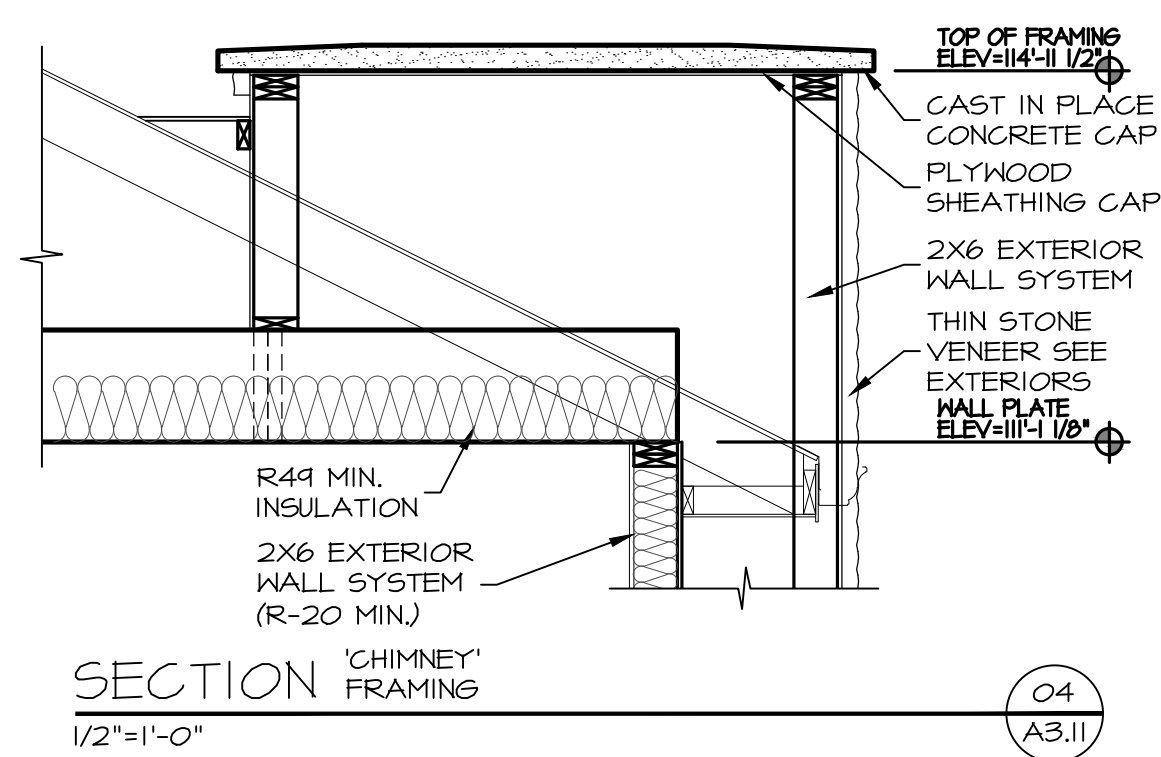
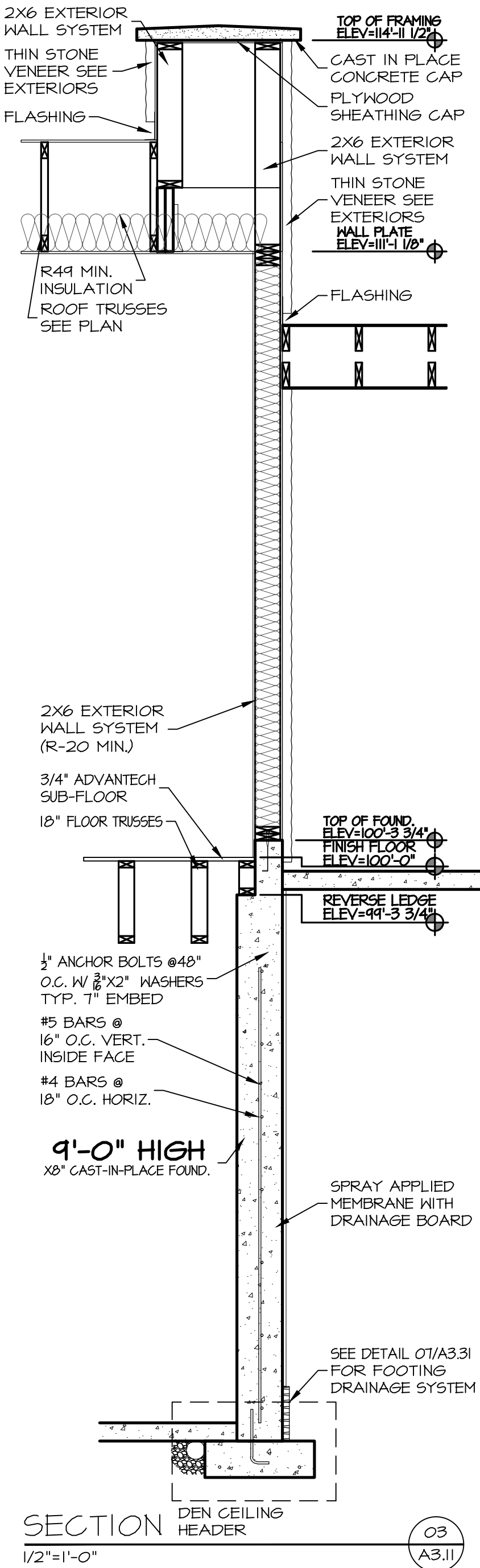
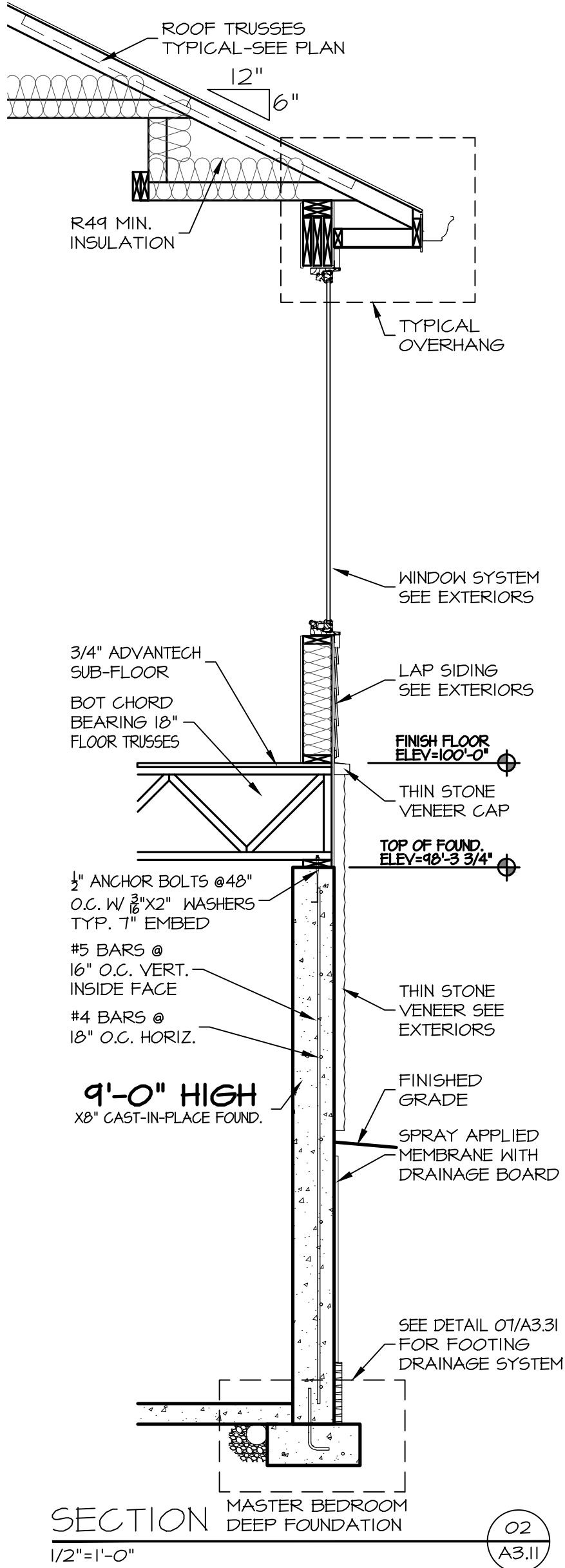
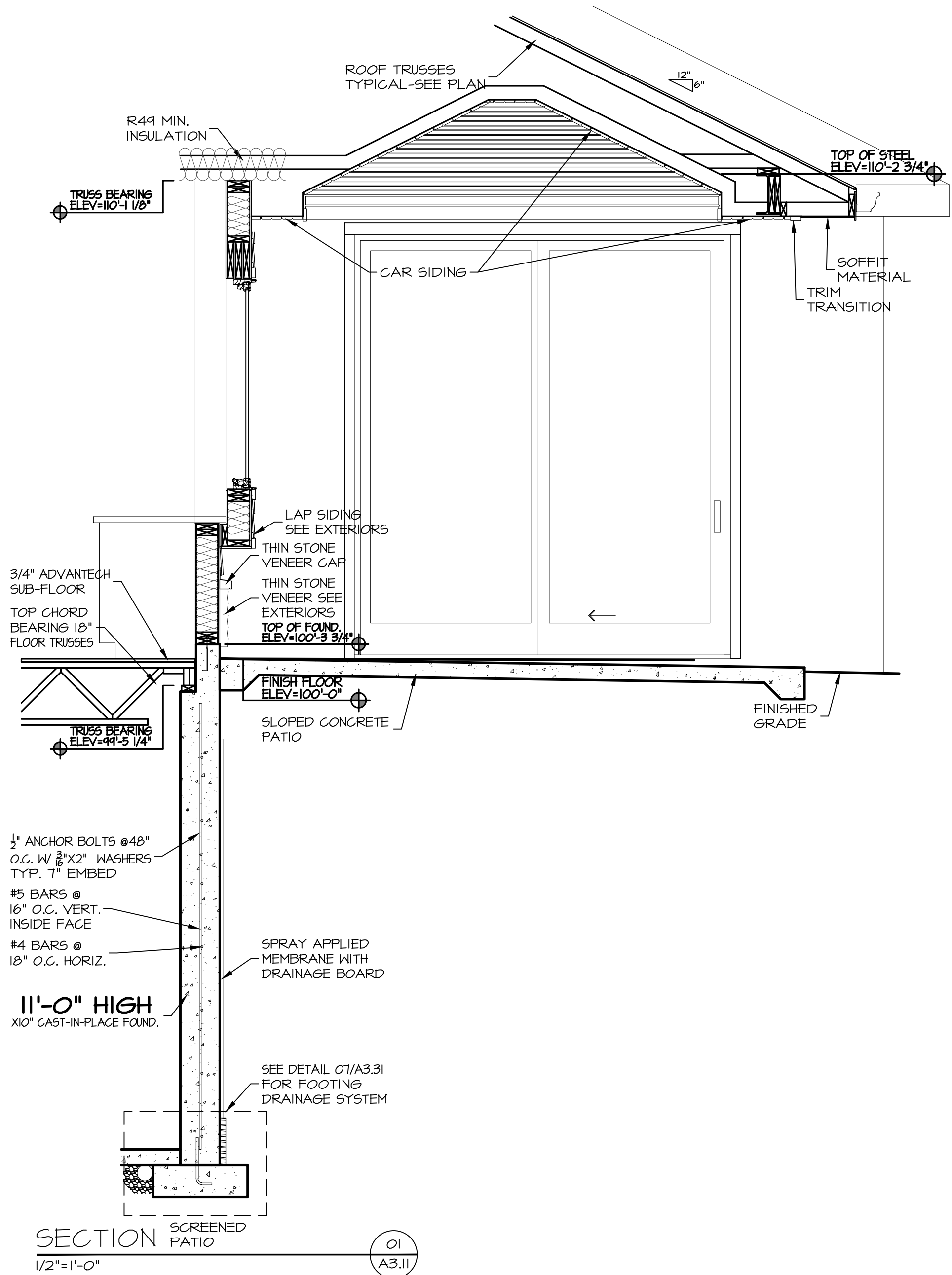
JOB NUMBER 15-2457	
DESCRIPTION WALL SECTIONS	
PLAN SHEET A3.10	

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NOTICE TO BUILDERS USING WOOD I-JOISTS OR FLOOR/ROOF TRUSSES

SPAN TABLES/SPECS SHEETS FROM MANUFACTURER MUST BE INCLUDED WITH THE APPROVED PLANS AT THE FRAMING INSPECTION

PLOT DATE: 4/24/2025
D:\MCNEIL COMPANY DROPBOX\JEFF ANDERSON\McNEIL DESIGN\RESIDENTIAL\15-2451 SCHACHNE LOT 144\A3 SECTION.DWG
HOME PAGE: A0.01



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LOT 144
SCHACHNE RESIDENCE
13051 CUMING ST OMAHA NE 68154

MCNEIL COMPANY
4666 South 132nd Street
Omaha, NE 68137
402-333-1462
mcneilcompany.com

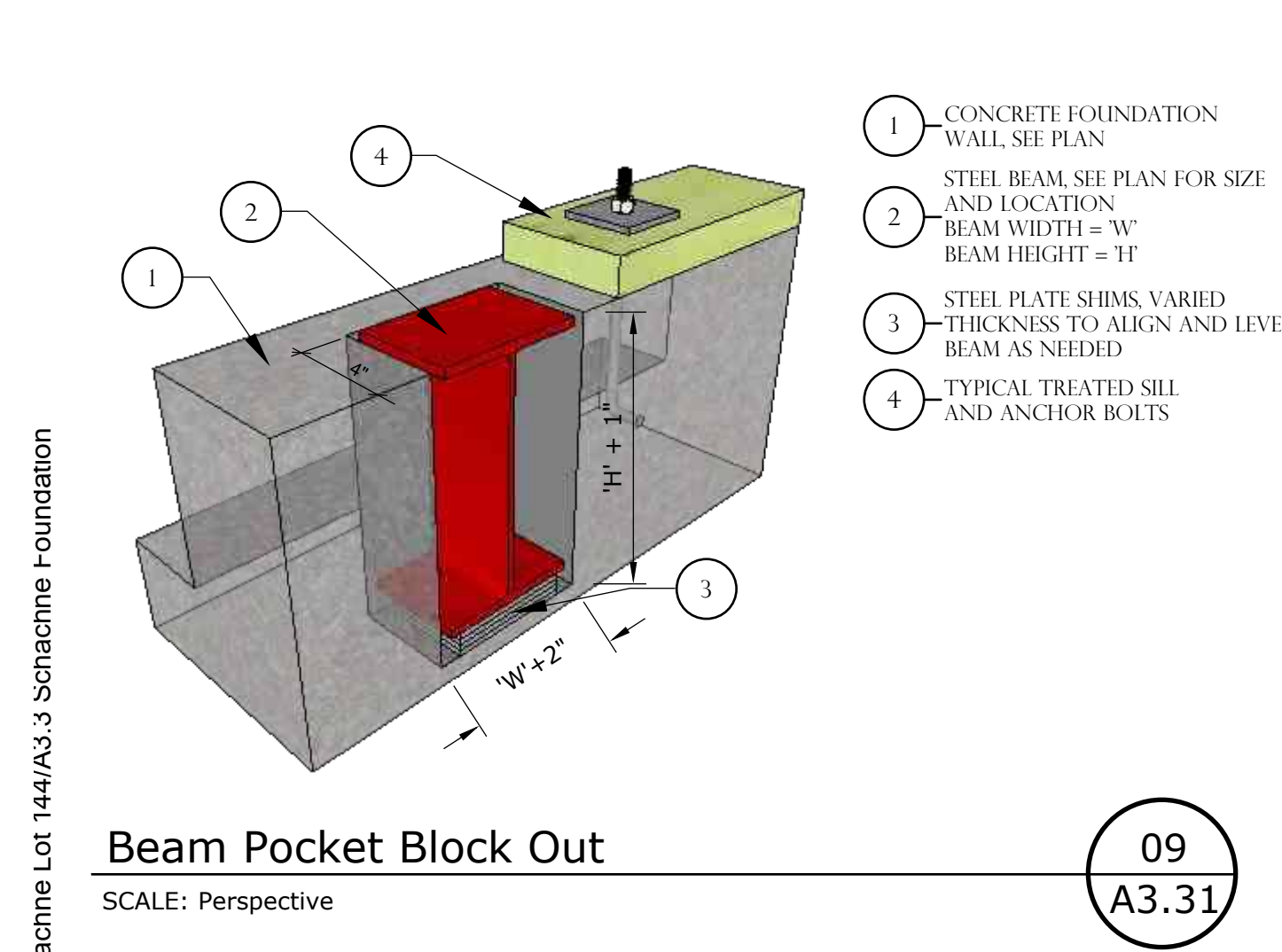
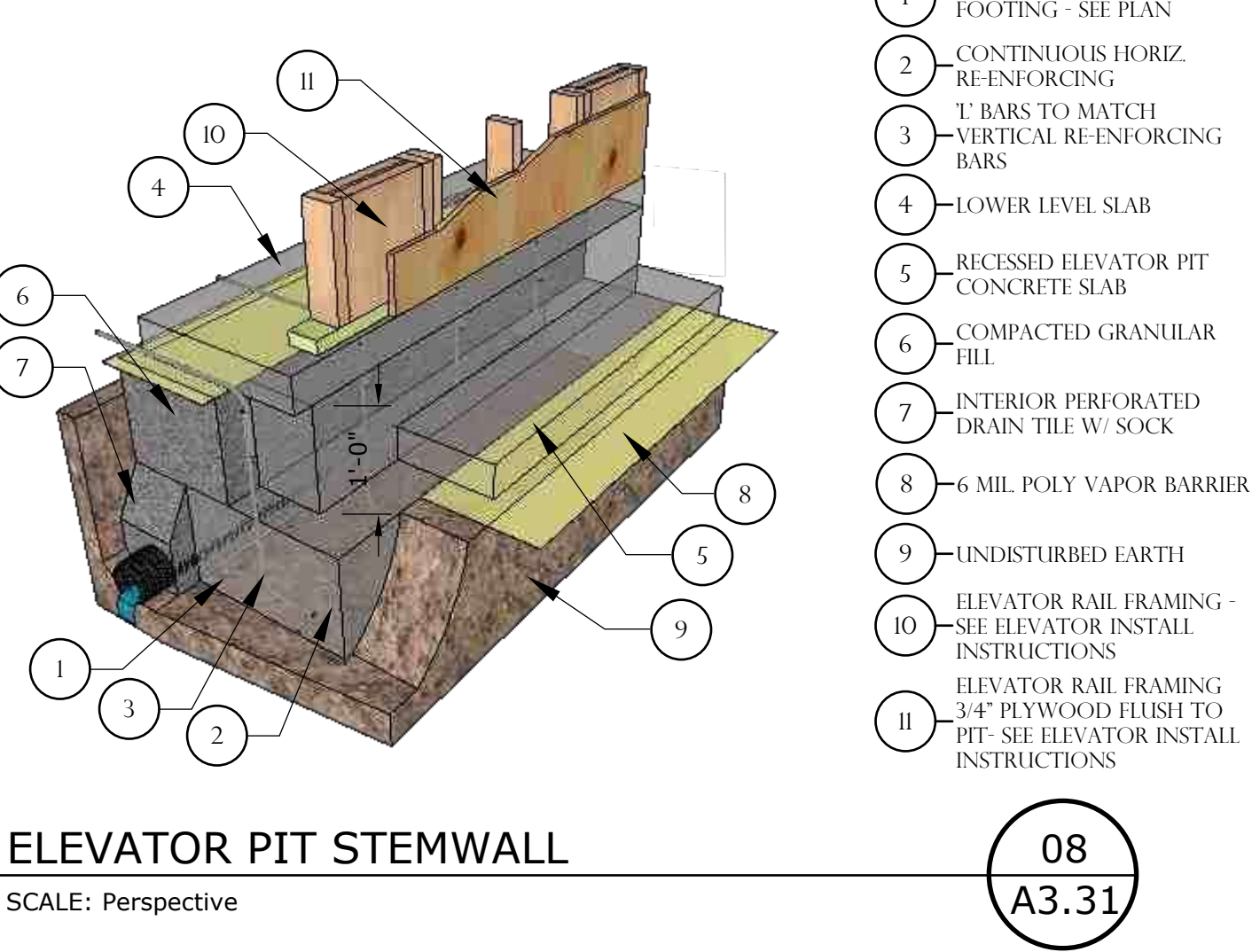
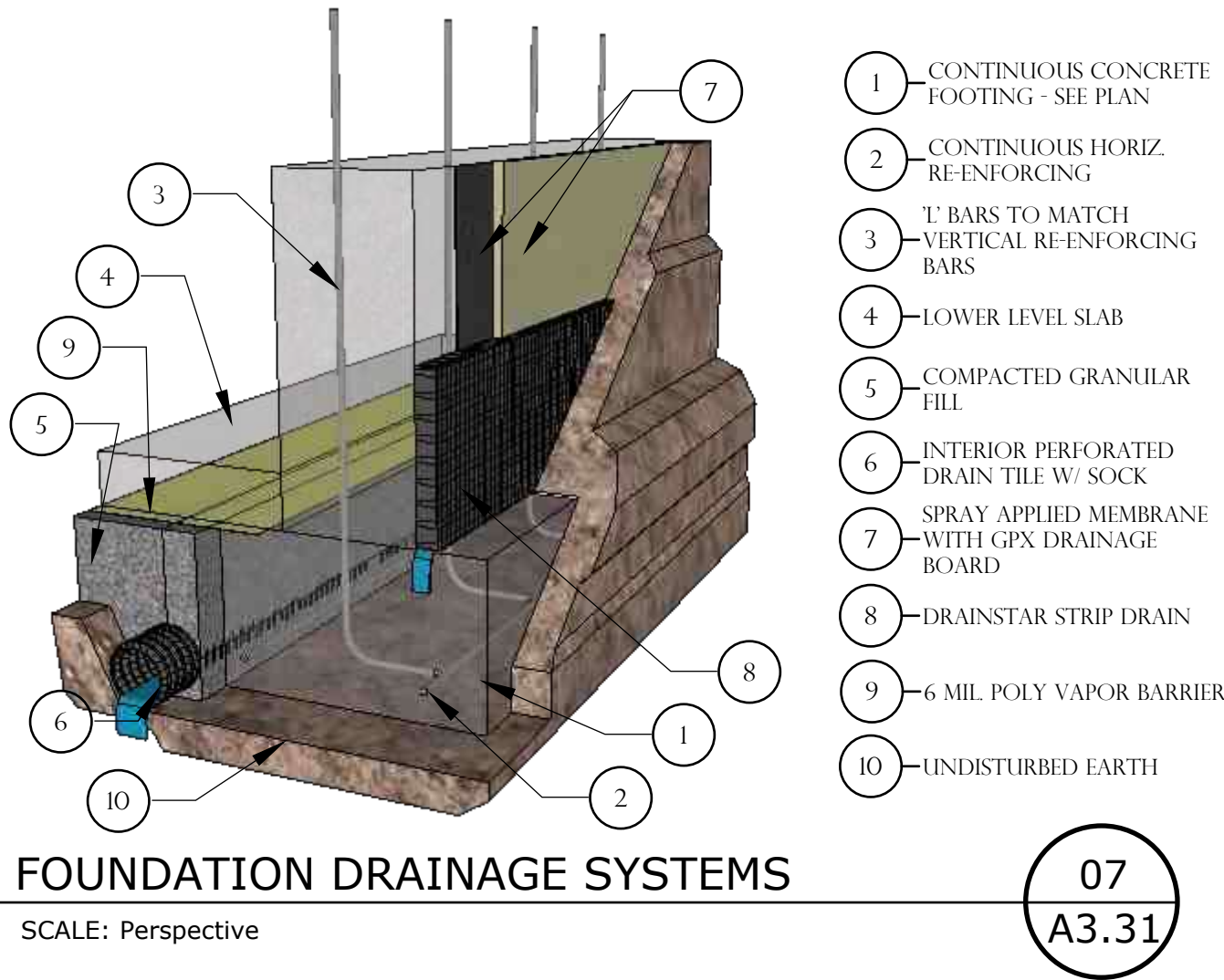
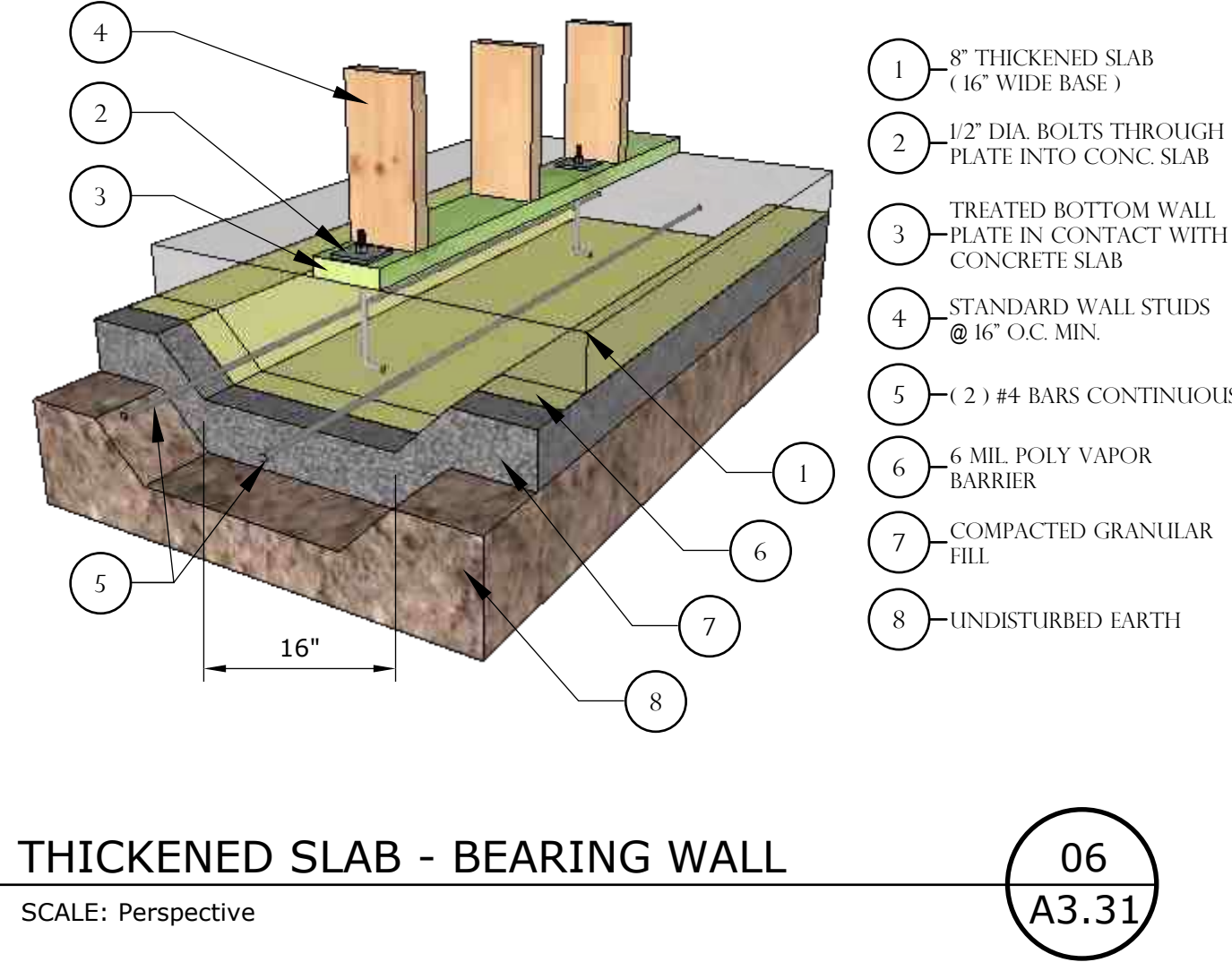
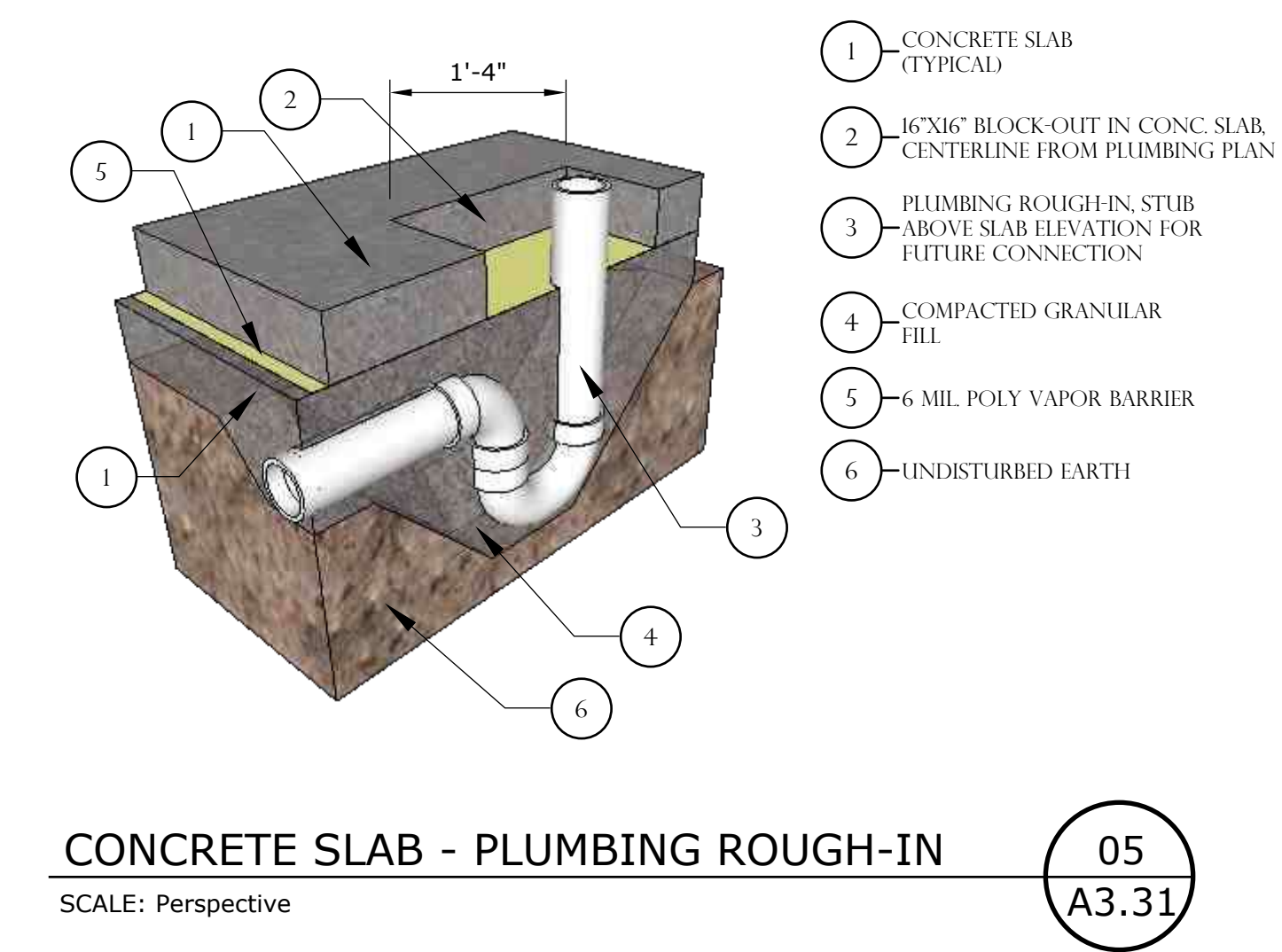
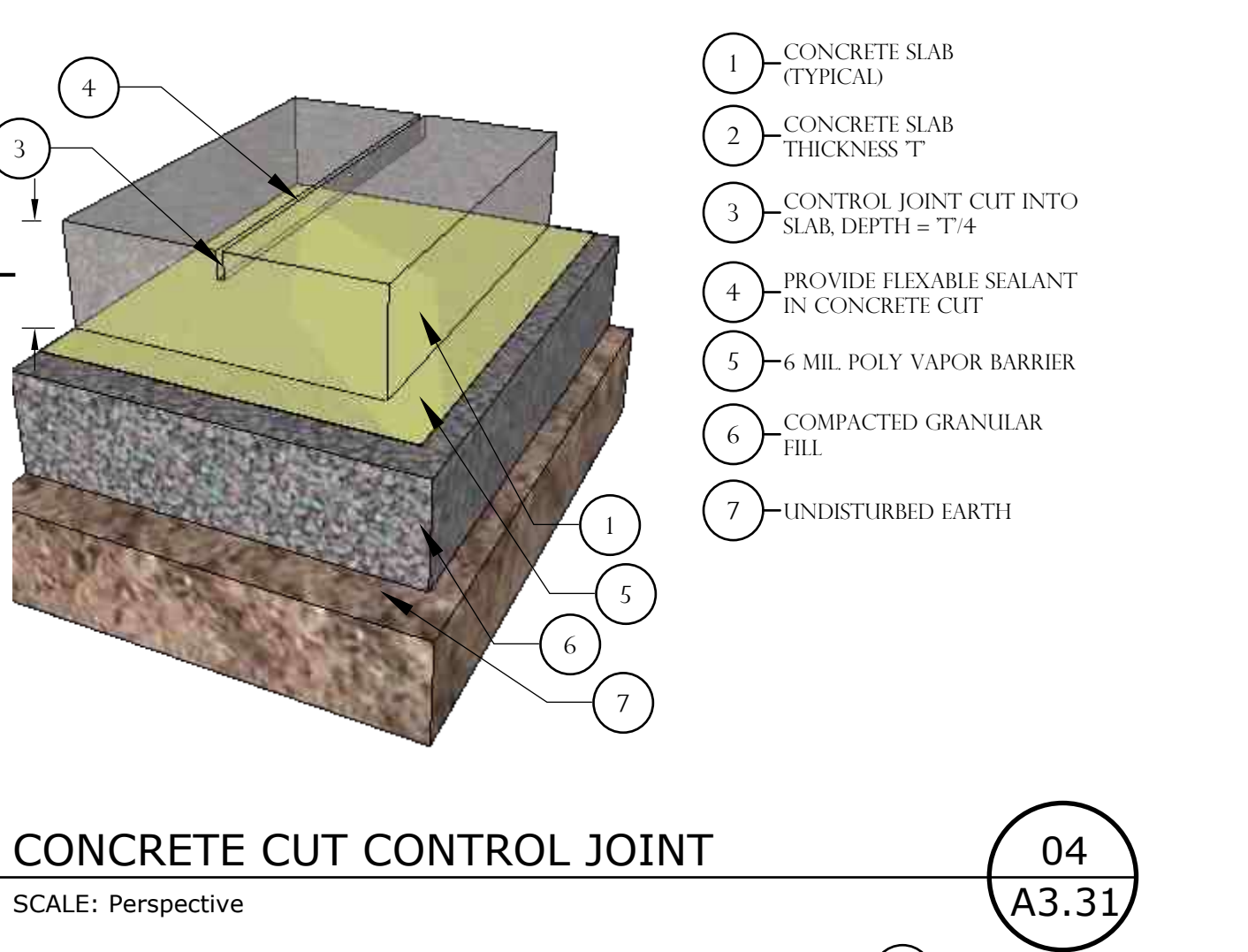
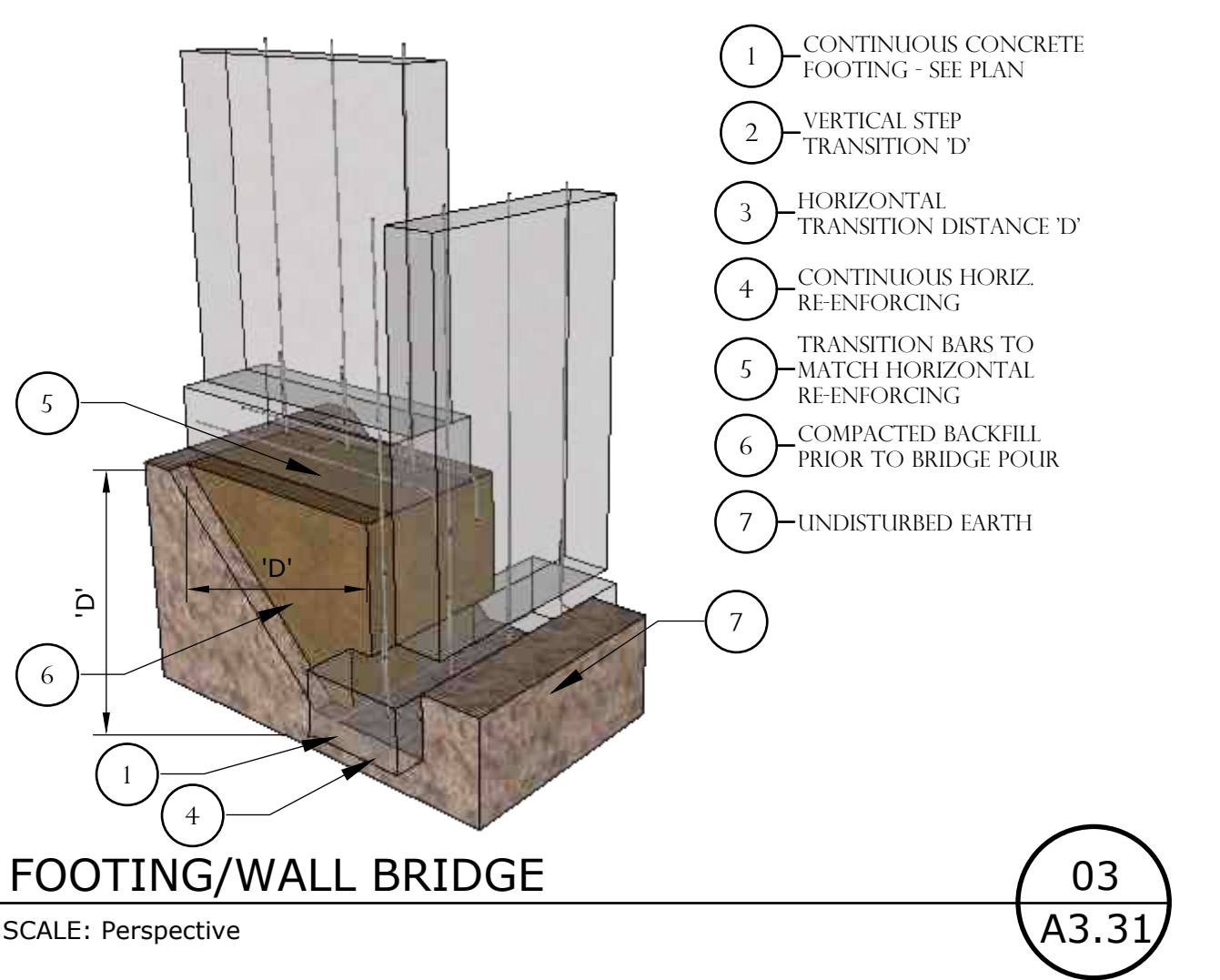
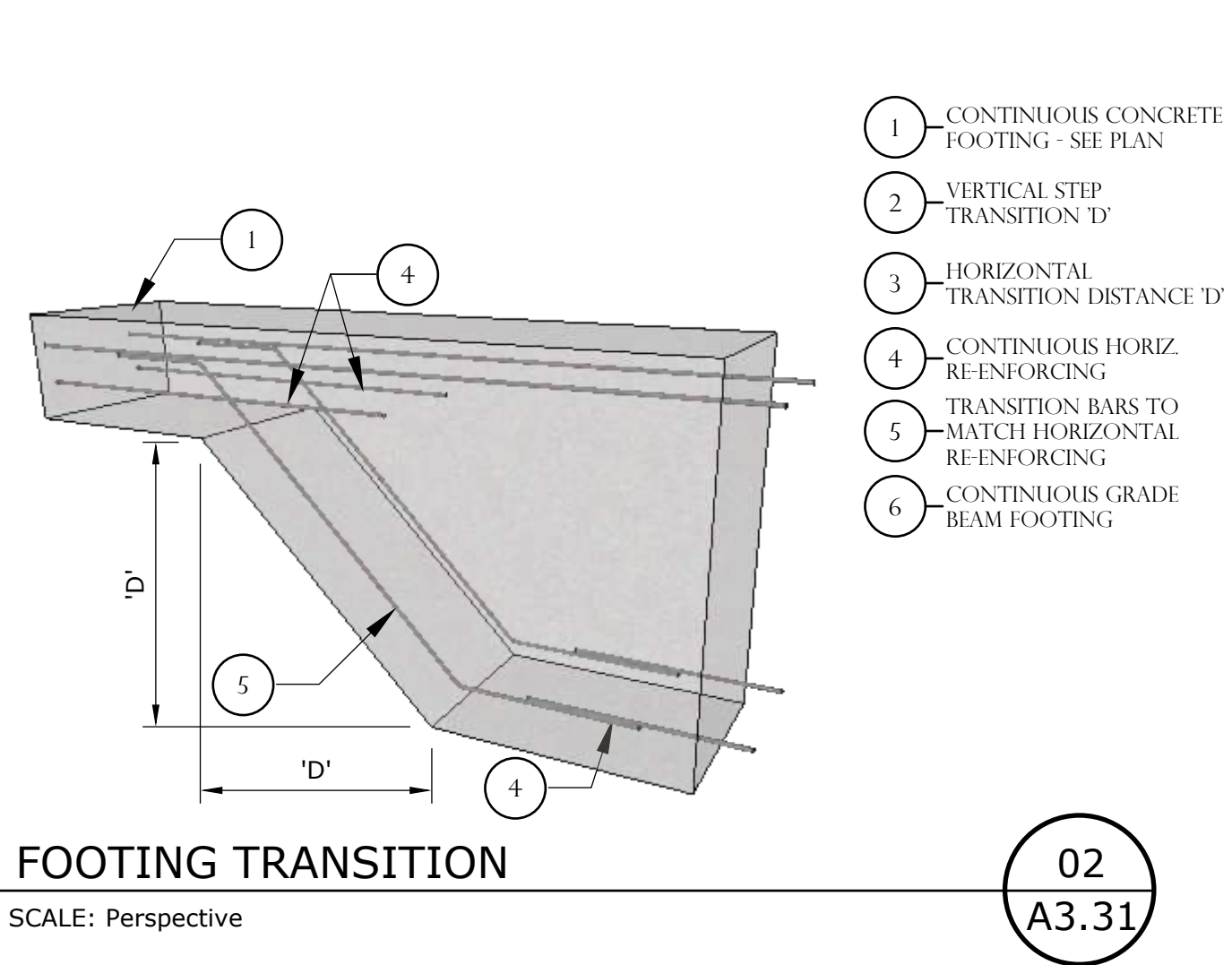
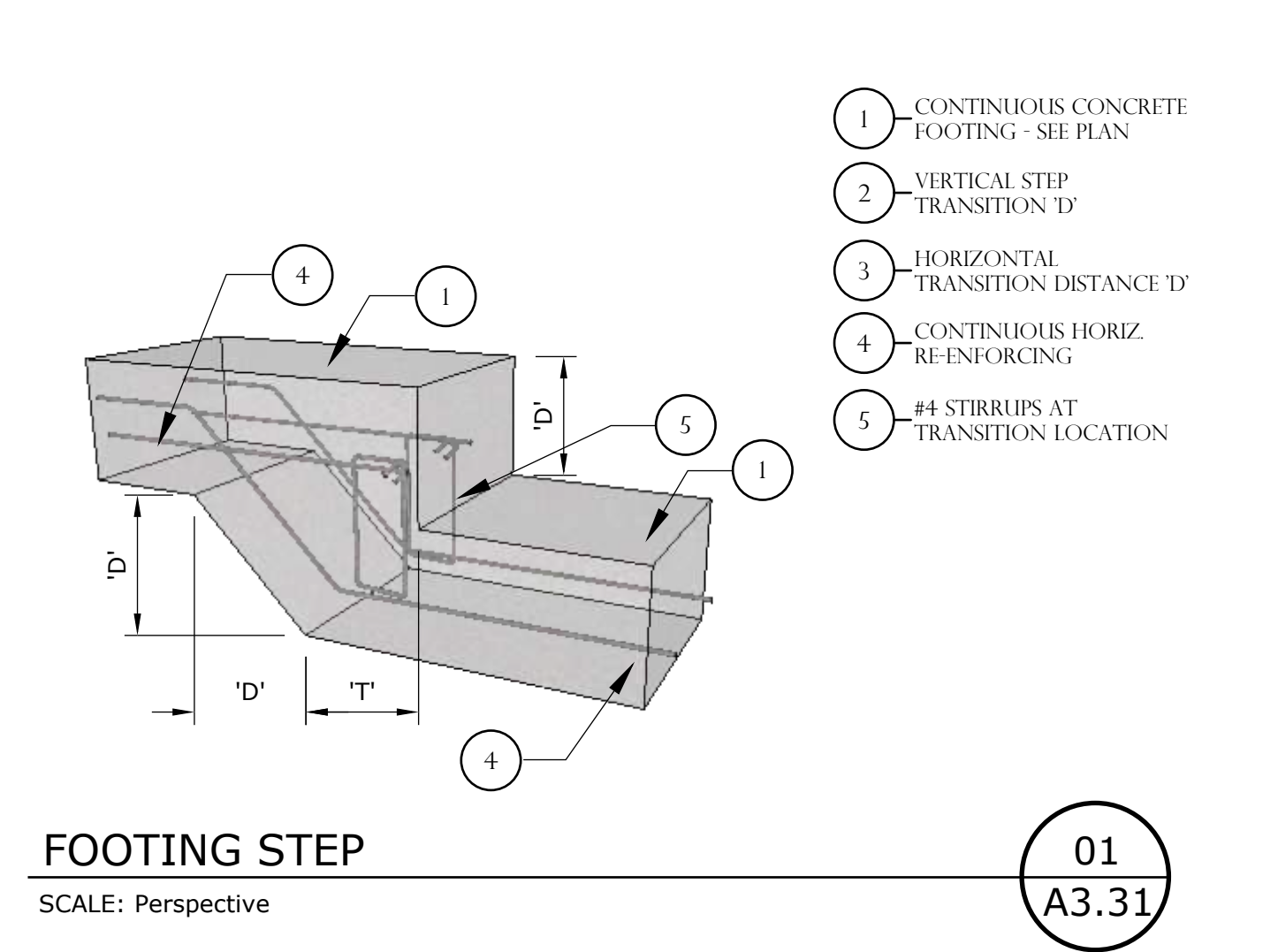
PLAN DATE 12/24/2024	
REV.	DATE
PERMIT	03/13/25
REV 01	03/28/25
REV 02	04/10/25
REV 03	04/14/25
REV 04	04/22/25



JOB NUMBER
15-2457
DESCRIPTION
WALL SECTIONS
PLAN SHEET
A3.11

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PLOT DATE: April 22, 2025
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MGB layout



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nebraska

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LOT 144
SCHACHNE RESIDENCE

13651 CUMING ST., OMAHA, NEBRASKA 68154

McNEIL

COMPANY

4666 South 132nd Street
Omaha, NE 68137
402-333-1462
mcneilcompany.com

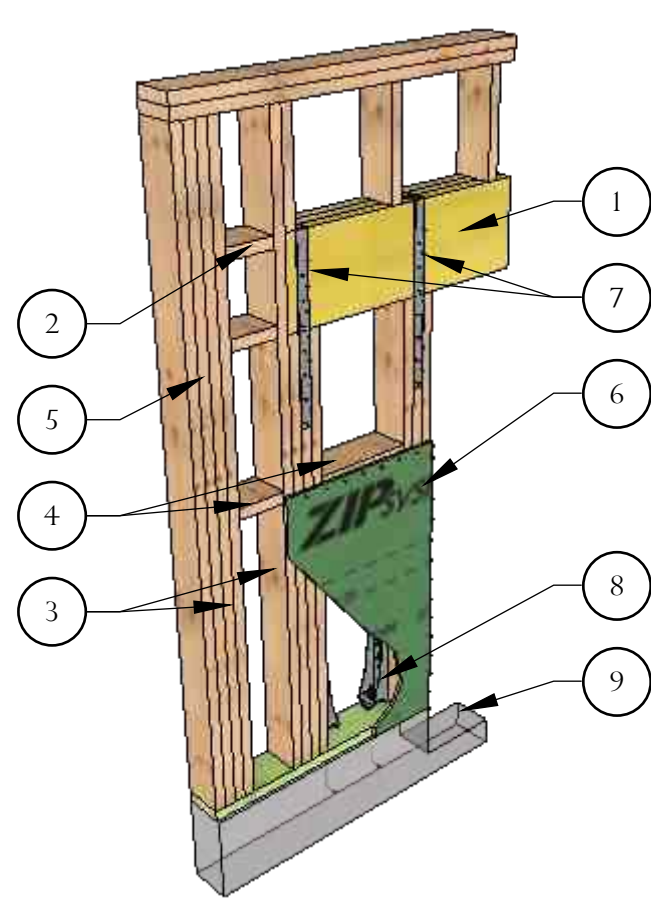
PLAN DATE
12/24/2025

REV.	DATE
PERMIT	03/13/2025
REV01	03/28/2025
REV02	04/10/2025
REV03	04/14/2025
REV04	04/22/2025

JOB NUMBER
15-2457
DESCRIPTION
STANDARD FOUNDATION DETAILS
PLAN SHEET
A3.31

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PLOT DATE: April 22, 2025
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MGB layout

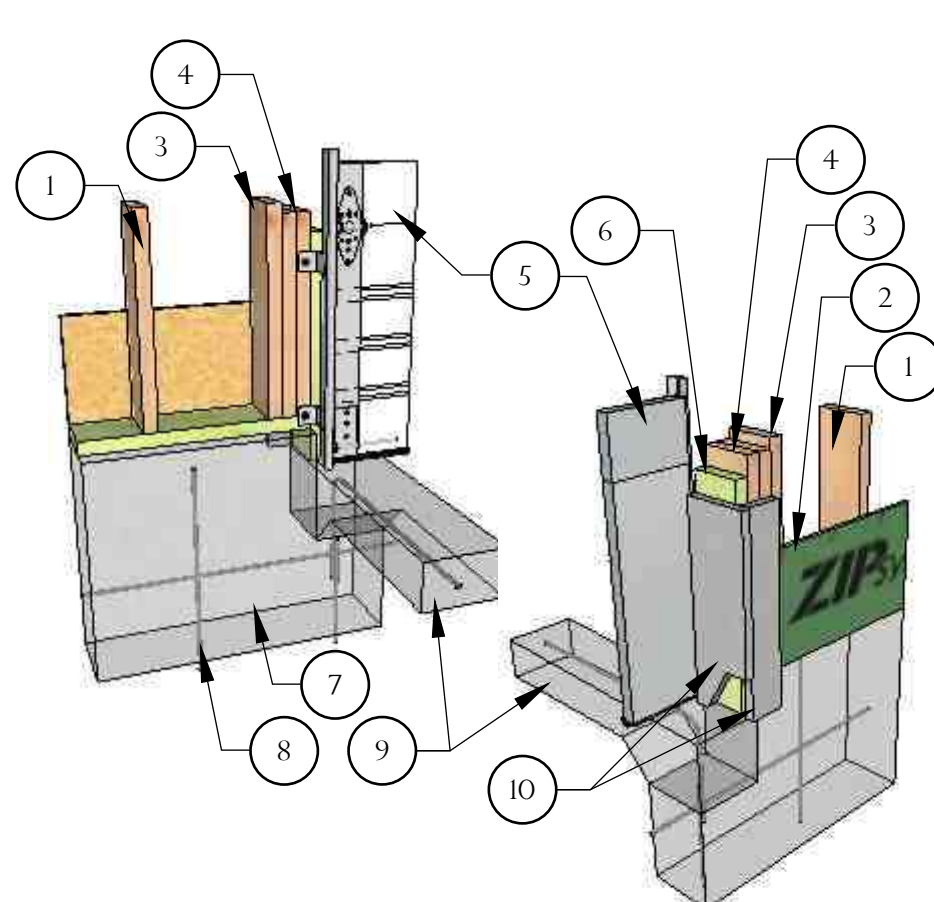


- 1-STRUCTURAL HEADER (SEE PLAN FOR SIZING AND LOCATION)
- 2-2X6 BLOCKING FOR 3" O.C. NAILING SPACING (TWO ROWS)
- 3-KING STUDS (PER PLAN) MUST GO FROM SILL PLATE TO DOUBLE TOP PLATE CONTINUOUS
- 4-PROVIDE BLOCKING TO PROVIDE 8D NAILING @ 3" O.C.
- 5-(4) 2X6 MIN. AT EACH END OF EXTERIOR WALL
- 6-1/8" ZIP SYSTEM WALL SHEATHING SYSTEM, ALL EDGES NAILED WITH 8D NAILS AT 3" O.C. TO EACH END MIN. 7" CTY
- 7-STRAPPING OVER HEADER ATTACHED INTO WALL STUDS
- 8-SIMPSON HOLD DOWNS AS REQUIRED, ANCHORED INTO CONCRETE WALL
- 9-CONCRETE FOUNDATION WALL WITH BLOCK-OUT AT GARAGE DOOR-SEE FOUNDATION PLAN

GARAGE DOOR SHEATHING AND HEADER

SCALE: Perspective

01
A3.41

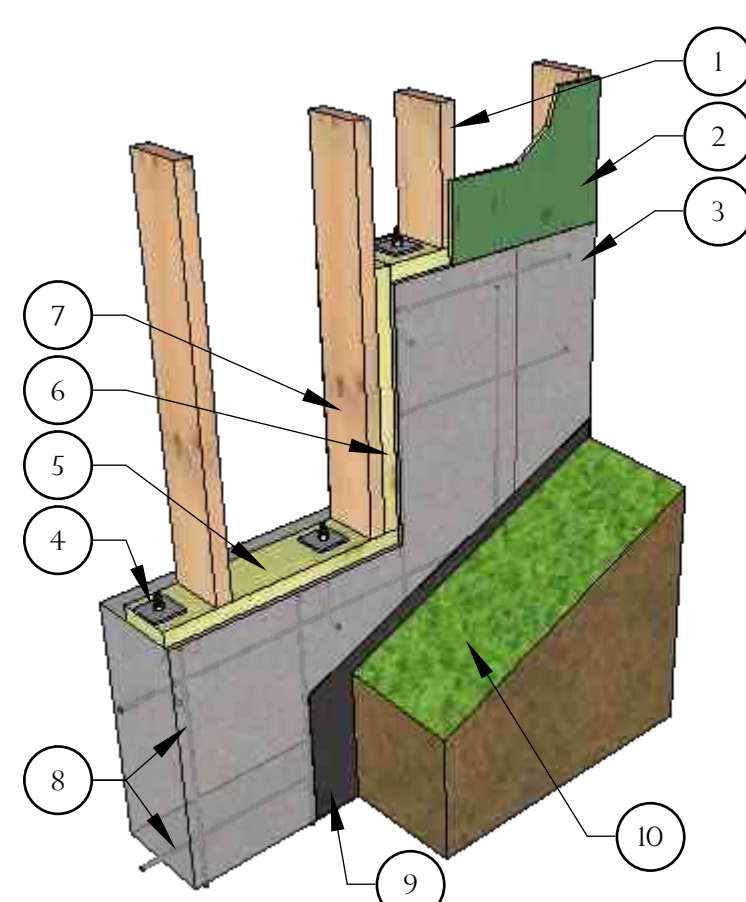


- 1-2X6 EXTERIOR WALL FRAMING
- 2-ZIP SYSTEM WALL SHEATHING, INSTALL PER MANUFACTURE
- 3-KING STUDS (PER PLAN) MUST GO FROM SILL PLATE TO DOUBLE TOP PLATE CONTINUOUS
- 4-TRIM STUDS AS NEEDED PER GARAGE DOOR HEADER (SEE PLAN)
- 5-GARAGE DOOR, SEE EXTERIORS FOR DESIGN AND SPEC.
- 6-TREATED GARAGE DOOR BUCK, CONTINUOUS INTO FOUNDATION BLOCK-OUT TO GARAGE SLAB
- 7-FOUNDATION WALL PER PLAN, BLOCK-OUT=DOOR WIDTH PLUS 4"
- 8-FOUNDATION WALL RE-ENFORCING SEE SECTIONS
- 9-SLOPED GARAGE DOOR SLAB, SEE PLAN
- 10-GARAGE DOOR JAMB TRIM, SEE EXTERIORS

GARAGE DOOR FRAMING BUCK

SCALE: Perspective

02
A3.41

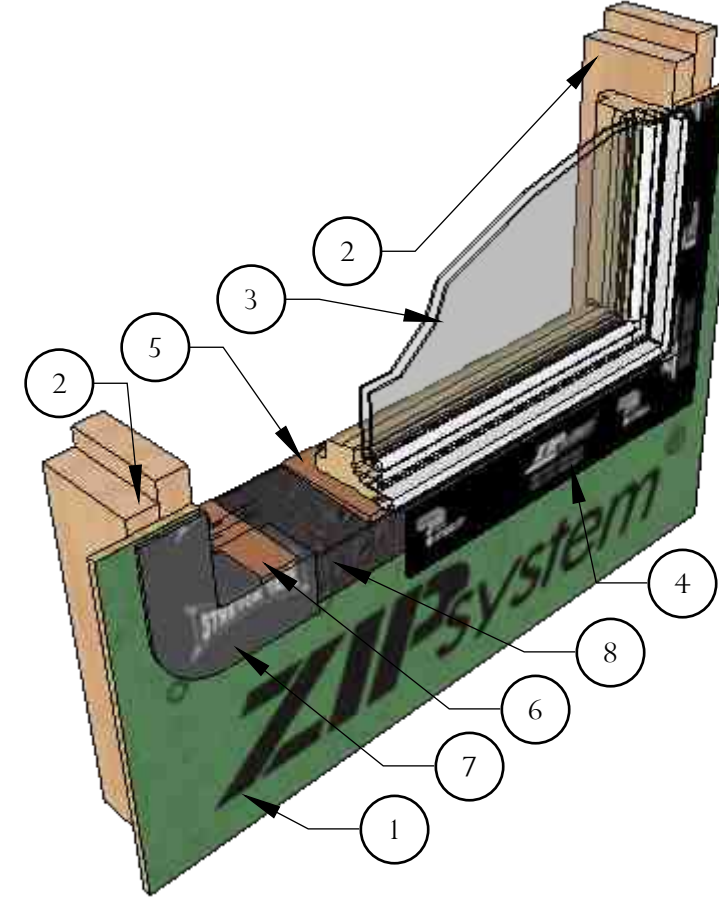


- 1-2X6 EXTERIOR WALL FRAMING
- 2-ZIP SYSTEM WALL SHEATHING, INSTALL PER MANUFACTURE
- 3-CONCRETE FOUNDATION-SEE PLAN FOR SIZES AND STEP LOCATIONS
- 4-5/8" ANCHOR BOLTS @ 32" O.C. TYPICAL 7" EMBEDMENT
- 5-TREATED SILL PLATE
- 6-TREATED 2X6 VERTICAL FRAMING ALONG VERTICAL FOUNDATION FACE
- 7-ATTACH 2X6 WALL STUD TO VERTICAL TREATED MEMBER
- 8-FOUNDATION WALL RE-ENFORCING SEE SECTIONS
- 9-SPRAY APPLIED WATERPROOF MEMBRANE ACROSS ENTIRE BURIED FOUNDATION WALL
- 10-FINISHED GRADING, SEE SITE PLAN FOR FINAL GRADING INTENT

STEPPED TREATED WALL PLATE

SCALE: Perspective

03
A3.41

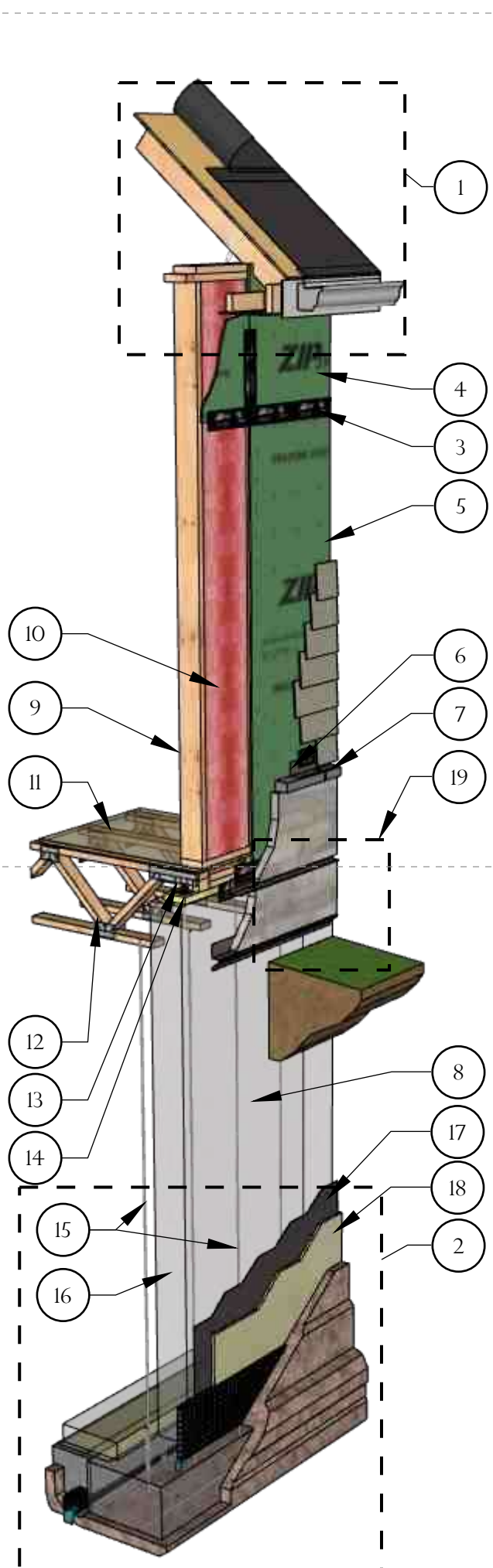


- 1-ZIP SYSTEM WALL SHEATHING
- 2-EXTERIOR WALL SYSTEM
- 3-WINDOW SYSTEM
- 4-ZIP SYSTEM TAPE AT ALL SIDES OF WINDOW, OVERLAP SIDES OVER BOTTOM AND TOP OVER SIDES
- 5-FULL WIDTH TAPERED SHIM TO CREATE SLOPED SILL TO DRAIN WINDOW PAN
- 6-TAPERED SHIMS PLACED AT OPPOSITE SLOPE OF SLOPED SILL TO ALLOW LEVEL SETTING OF WINDOW INTO FRAMED OPENING
- 7-ZIP SYSTEM STRETCH TAPE TO FORM WATER-PROOF SILL AND CORNER, EXTEND VERTICAL 6" FROM SILL. APPLY PER MANUE.
- 8-ICE & WATER SHIELD MEMBRANE THROUGH WINDOW SILL

SLOPED WINDOW PAN SILL

SCALE: Perspective

04
A3.41

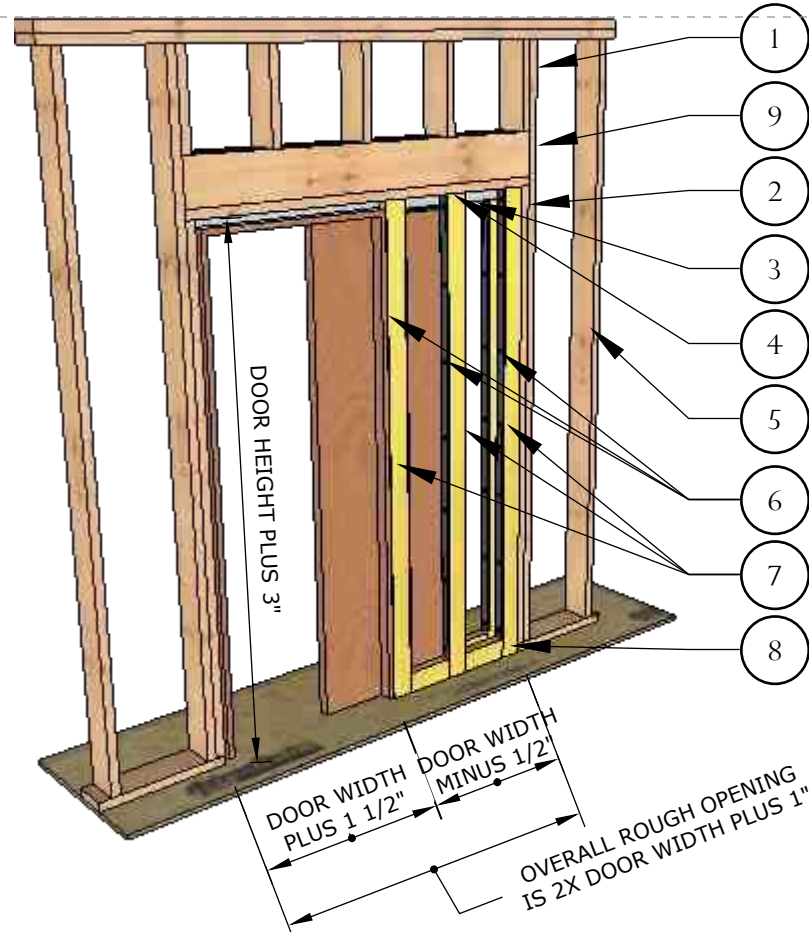


- 1-TYPICAL ROOF OVERHANG SEE DETAIL 12/A3.41
- 2-TYPICAL FOOTING AND DRAINAGE SEE DETAIL 4/A3.20
- 3-ZIP SYSTEM SEAM TAPE, APPLY PER MANUFACTURE INSTALL
- 4-ZIP SYSTEM WALL SHEATHING, INSTALL PER MANUFACTURE
- 5-6" ALTERNATING EXPOSURE SIDING, SEE EXTERIORS FOR SIDING AND TRIM PLACEMENT
- 6-PROPER FLASHING UNDER SIDING AND OVER MASONRY SILL
- 7-THIN STONE VENEER WITH MASONRY SILL, SEE EXTERIORS FOR PLACEMENT AND ELEVATIONS
- 8-SEE FOUNDATION PLAN FOR ELEVATIONS
- 9-2X6 EXTERIOR WALL FRAMING, SEE PLAN AND EXTERIORS FOR WALL HEIGHTS
- 10-2X6 WALL INSULATION, R-19 (R-20 WALL SYSTEM)
- 11-3/4" T&G ADVANTECH FLOORING, GLUED AND NAILED PER MANUFACTURE INSTALL
- 12-16" TOP CHORD BEARING FLOOR TRUSSES, SEE LAYOUT DRAWING FROM TRUSS MANUFACTURE
- 13-1/2" ANCHOR BOLTS @ 48" O.C. TYPICAL 7" EMBEDMENT W/ 3/16"x2" WASHERS
- 14-TREATED SILL PLATE
- 15-#5 REBAR @ 16" O.C. VERTICAL 2 1/2" MIN. FROM INSIDE FACE
- 16-CAST-IN-PLACE CONCRETE FOUNDATION WALL, SEE FOUNDATION PLAN FOR HEIGHTS AND THICKNESS
- 17-SPRAY APPLIED WATERPROOF MEMBRANE ACROSS ENTIRE BURIED FOUNDATION WALL
- 18-3/4" DRAINAGE BOARD-MECHANICALLY FASTENED TO FOUNDATION WALL
- 19-SEE ENLARGED DETAILS 6-10/A3.10 FOR TERMINATION AT GRADE

TYPICAL WALL SECTION

SCALE: Perspective

08
A3.41

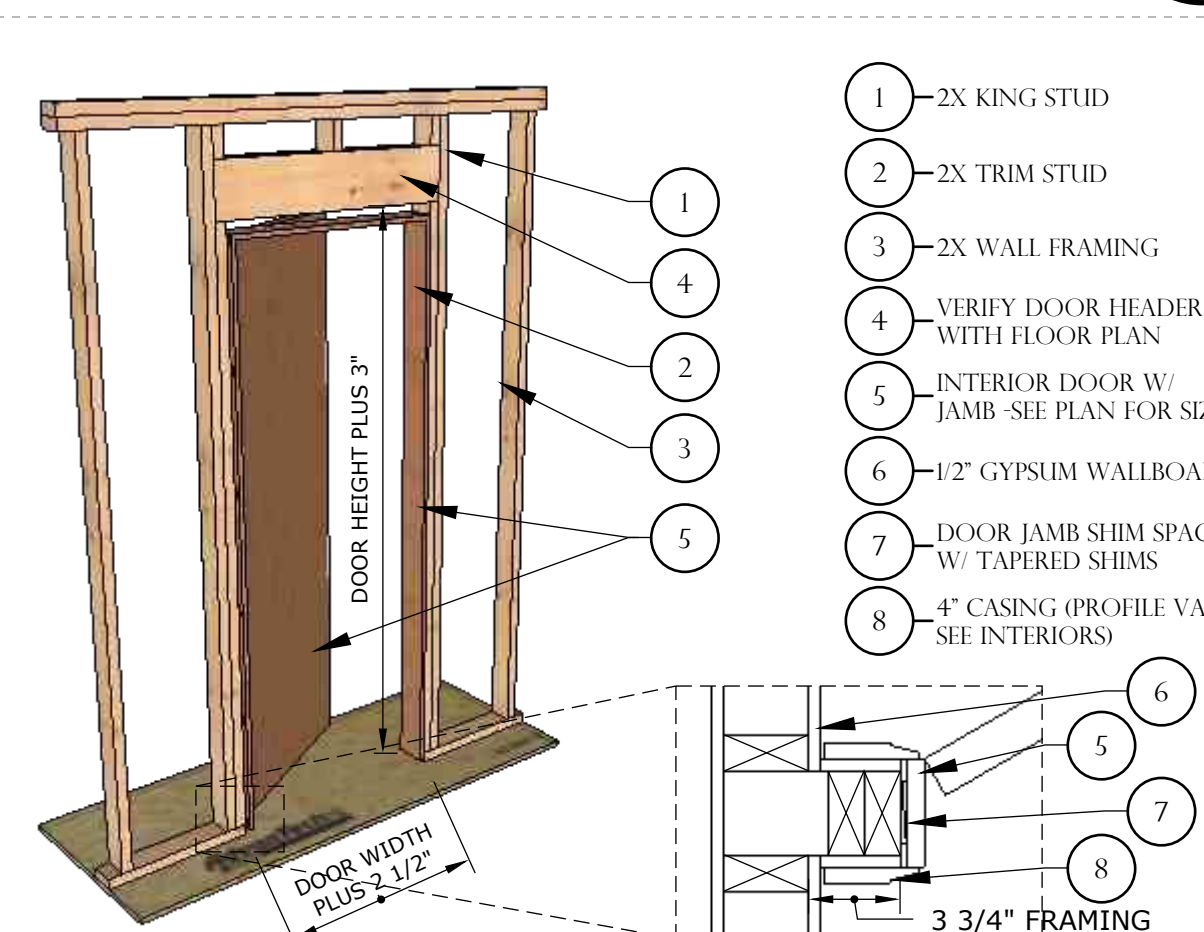


- 1-2X6 KING STUD
- 2-2X6 TRIM STUD
- 3-POCKET DOOR TRACK ATTACHED TO HEADER
- 4-POCKET SCREW STUDS INTO DOOR HEADER
- 5-2X6 WALL FRAMING
- 6-1/4" X 1 1/2" STEEL PLATE SCREWED TO EACH OPEN EDGE OF LVL STUDS
- 7-LVL STUDS TURNED SIDEWAYS
- 8-POCKET SCREW STUDS INTO SUBFLOOR
- 9-VERIFY DOOR HEADER WITH FLOOR PLAN

TYPICAL INTERIOR POCKET DOOR FRAMING

SCALE: Perspective

05
A3.41

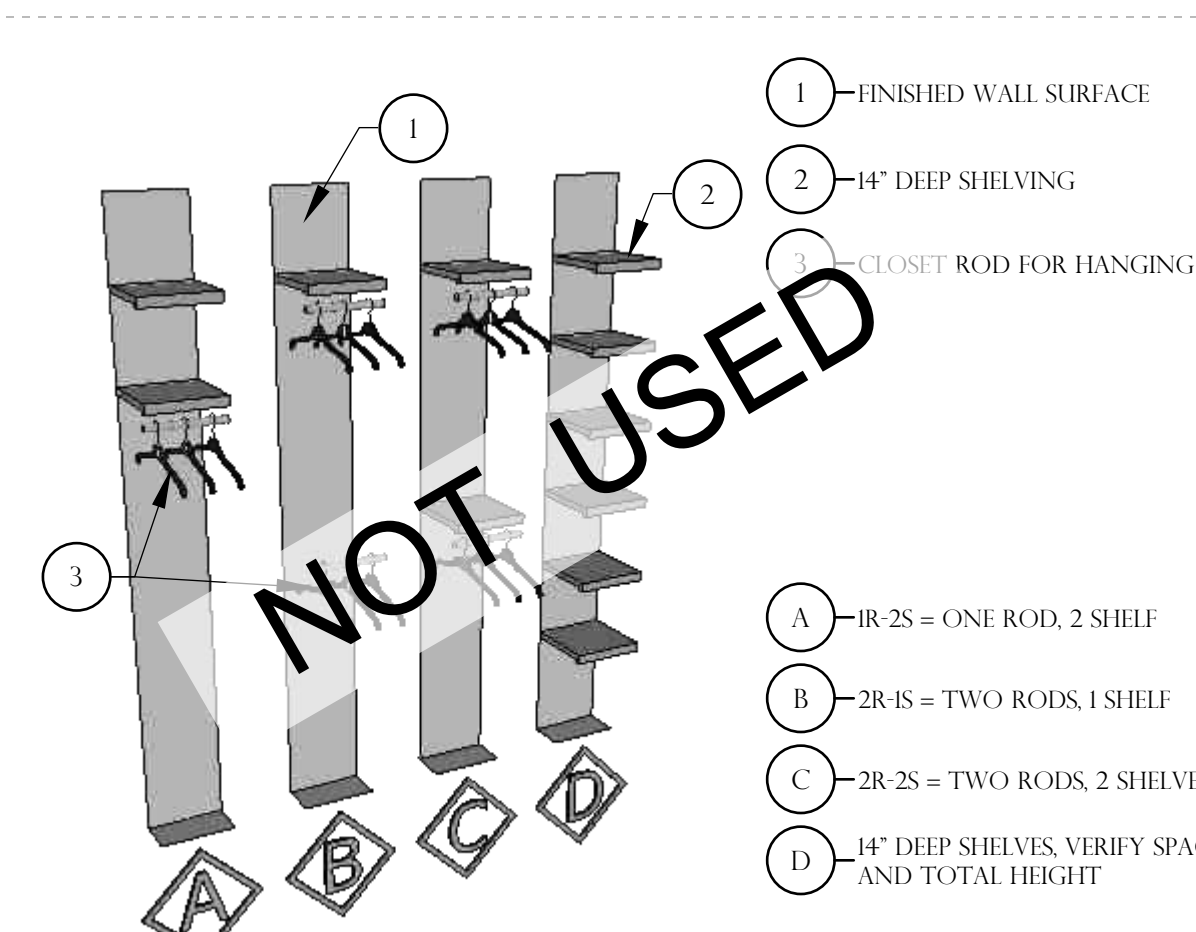


- 1-2X KING STUD
- 2-2X TRIM STUD
- 3-2X WALL FRAMING
- 4-VERIFY DOOR HEADER WITH FLOOR PLAN
- 5-INTERIOR DOOR W/ JAMB-SEE PLAN FOR SIZE
- 6-1/2" GYPSUM WALLBOARD
- 7-DOOR JAMB SHIM SPACE W/ TAPERED SHIMS
- 8-4" CASING (PROFILE VARIES SEE INTERIORS)

TYPICAL INTERIOR DOOR FRAMED OPENING

SCALE: Perspective

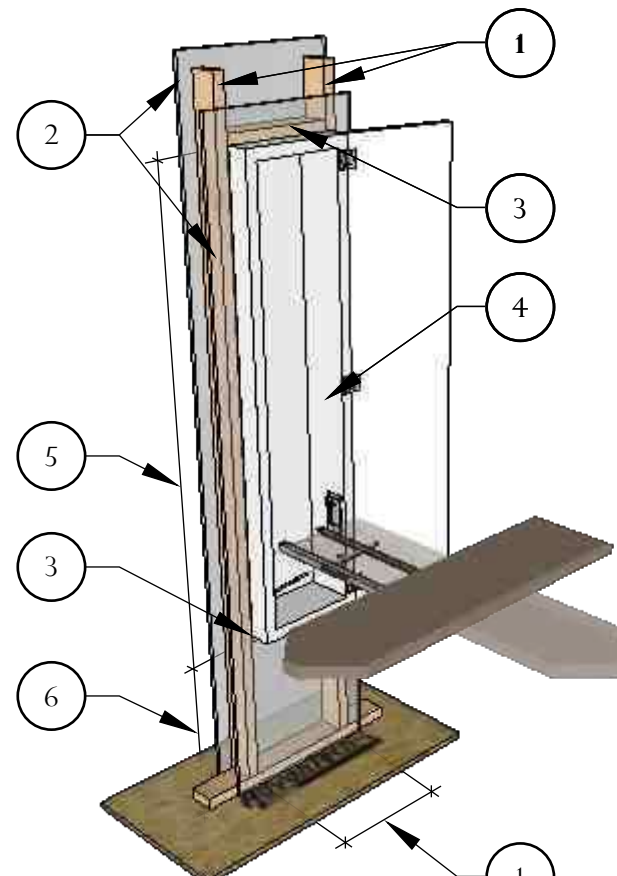
06
A3.41



TYPICAL CLOSET AND SHELVING SYSTEMS

SCALE: Perspective

07
A3.41

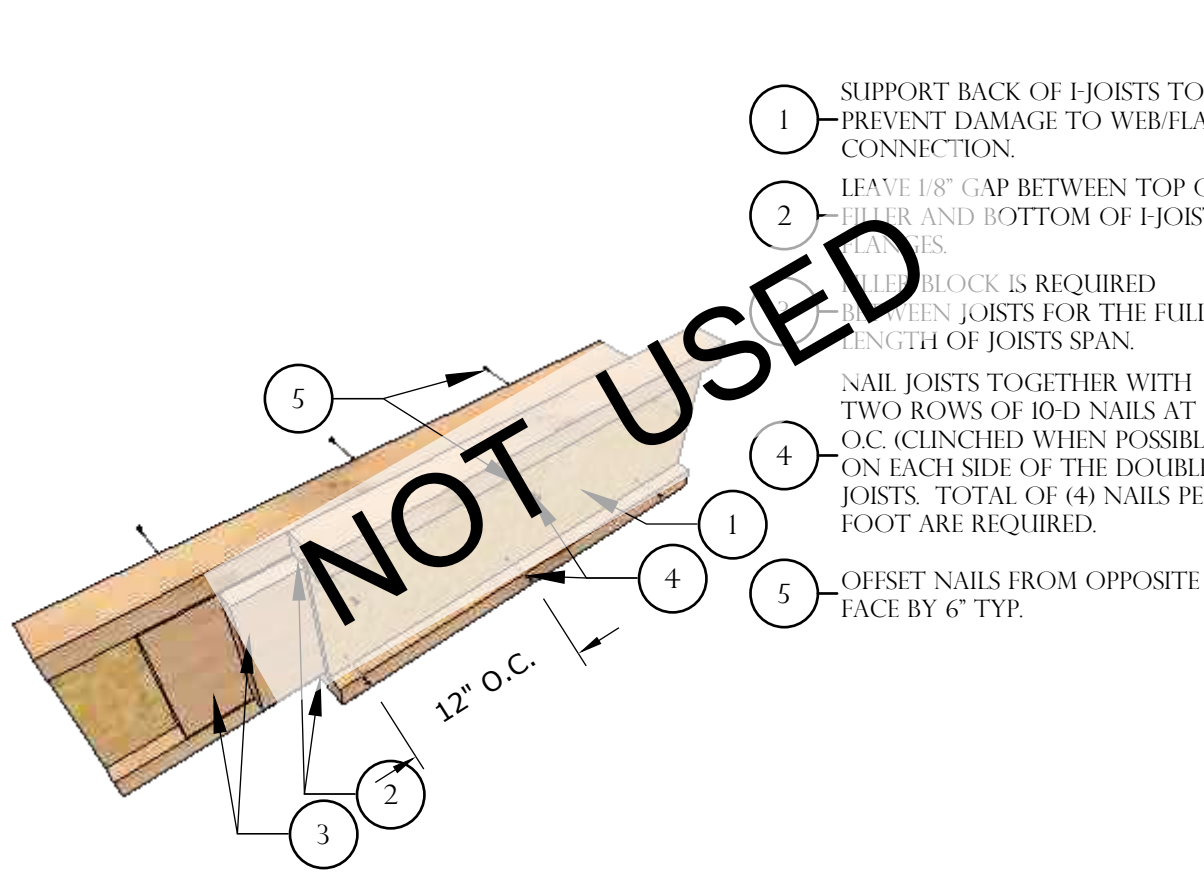


- 1-WALL STUDS (2X4 MIN) @16" O.C. 14 1/2" INSIDE CLEAR DIM.
- 2-1/2" GYP. BOARD
- 3-2X HORIZONTAL BLOCKING FOR ROUGH OPENING
- 4-IRON-A-WAY UNIT
- 5-VERTICAL ROUGH OPENING (MODEL 46 = 60 5/8" (MODEL 42 = 52")
- 6-ROUGH OPENING HEIGHT FROM FLOOR, VERIFY HEIGHT WITH INSTALL INSTRUCTIONS BASED ON MODEL SELECTION.

IRON-A-WAY FRAMING

SCALE: Perspective

09
A3.41

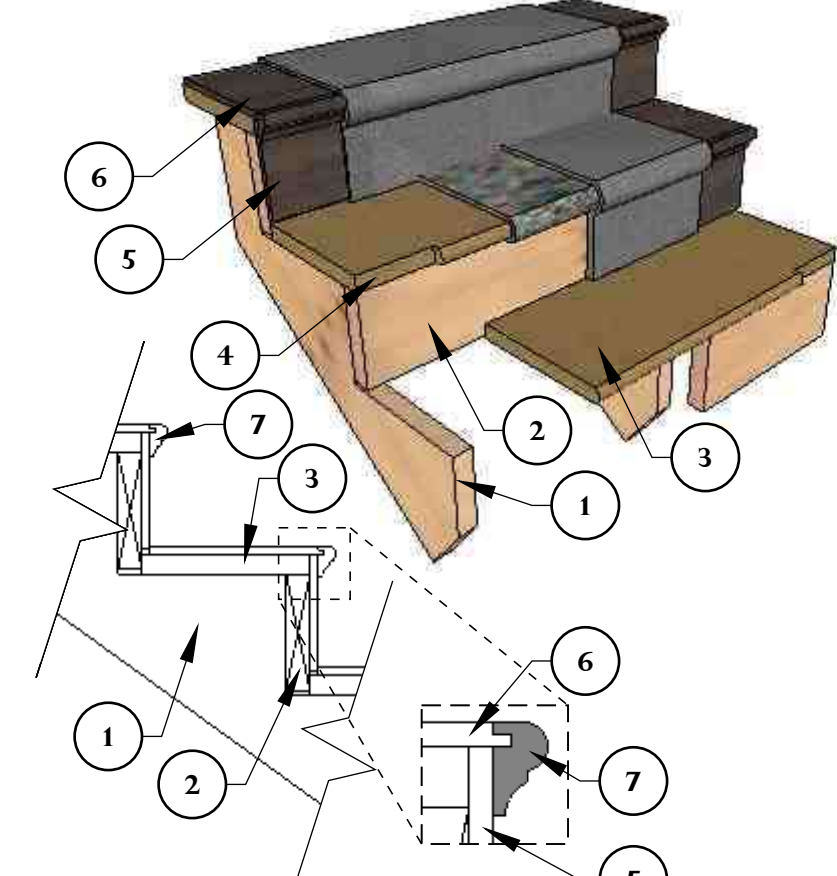


- 1-SUPPORT BACK OF JOISTS TO PREVENT DAMAGE TO WEB/FLANGE CONNECTION.
- 2-LEAVE 1/8" GAP BETWEEN TOP OF JOIST AND BOTTOM OF JOIST.
- 3-DOUBLE BLOCK IS REQUIRED WHEN JOISTS FOR THE FULL LENGTH OF JOISTS SPAN.
- 4-NAIL JOISTS TOGETHER WITH TWO ROWS OF 10-D NAILS AT 12" O.C. (CLINCHED WHEN POSSIBLE ON EACH SIDE OF THE DOUBLE I-JOISTS. TOTAL OF (4) NAILS PER FOOT ARE REQUIRED.
- 5-OFFSET NAILS FROM OPPOSITE FACE BY 6" TYP.

DOUBLE I-JOISTS CONNECTION

SCALE: Perspective

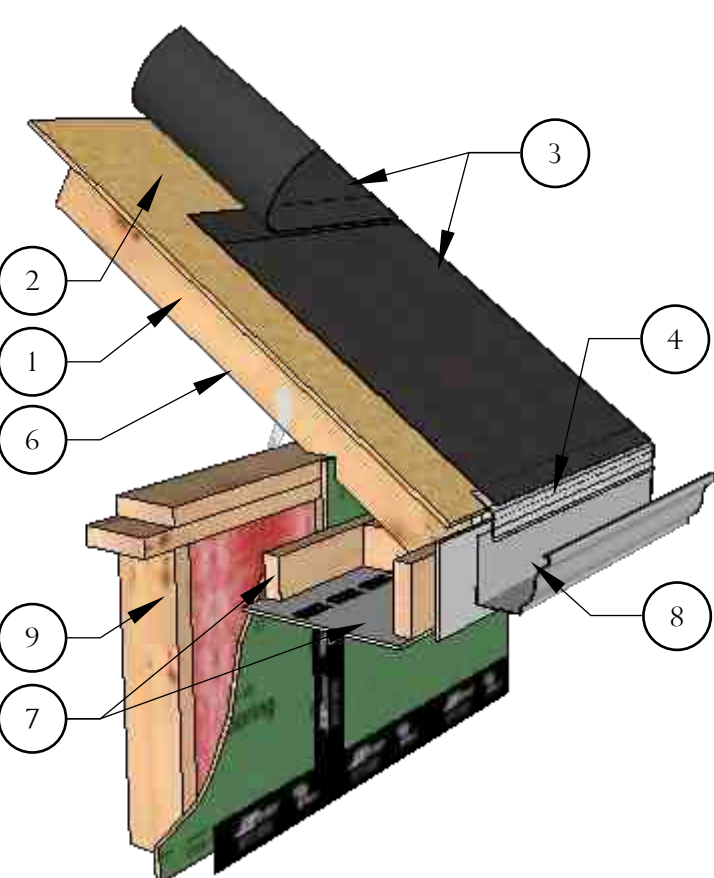
10
A3.41



FINISHED WOOD END CAPS

SCALE: Perspective

11
A3.41

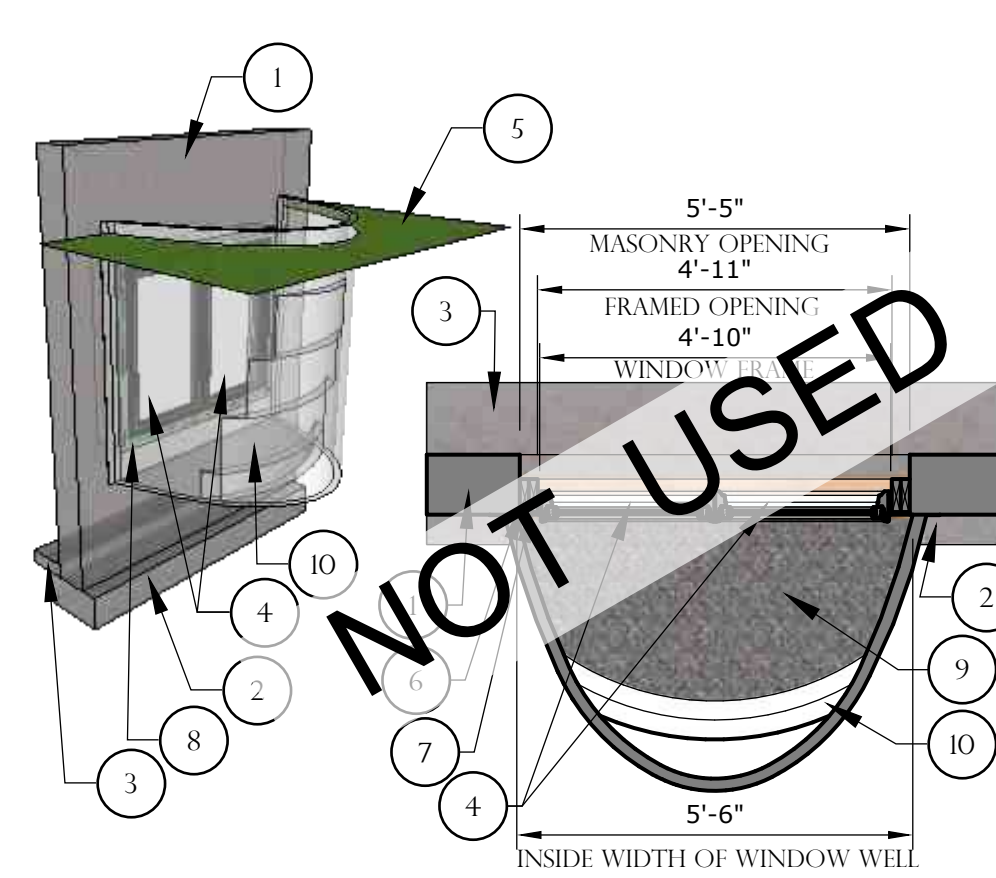


- 1-ROOF FRAMING, SEE ROOF PLAN
- 2-ROOF SHEATHING PER MANUFACTURE INSTALL
- 3-ICE AND WATER SHIELD
- 4-GUTTER APRON FLASHING
- 5-FINISHED FASCIA BOARD
- 6-PROVIDE 48" BAFFLES EVERY OTHER RAFTER OR TRUSS SPACE
- 7-SUB-FASCIA AND SOFFT FRAMING, SEE ROOF PLAN FOR OVERHANG DIMENSIONS
- 8-6" GUTTER AND DOWNSPOUT (PRIMED AND PAINTED)
- 9-2X6 EXTERIOR WALL SYSTEM WITH ZIP SYSTEM, INSTALL PER MANUFACTURE INSTRUCTION.

TYPICAL ROOF OVERHANG DETAIL

SCALE: Perspective

12
A3.41

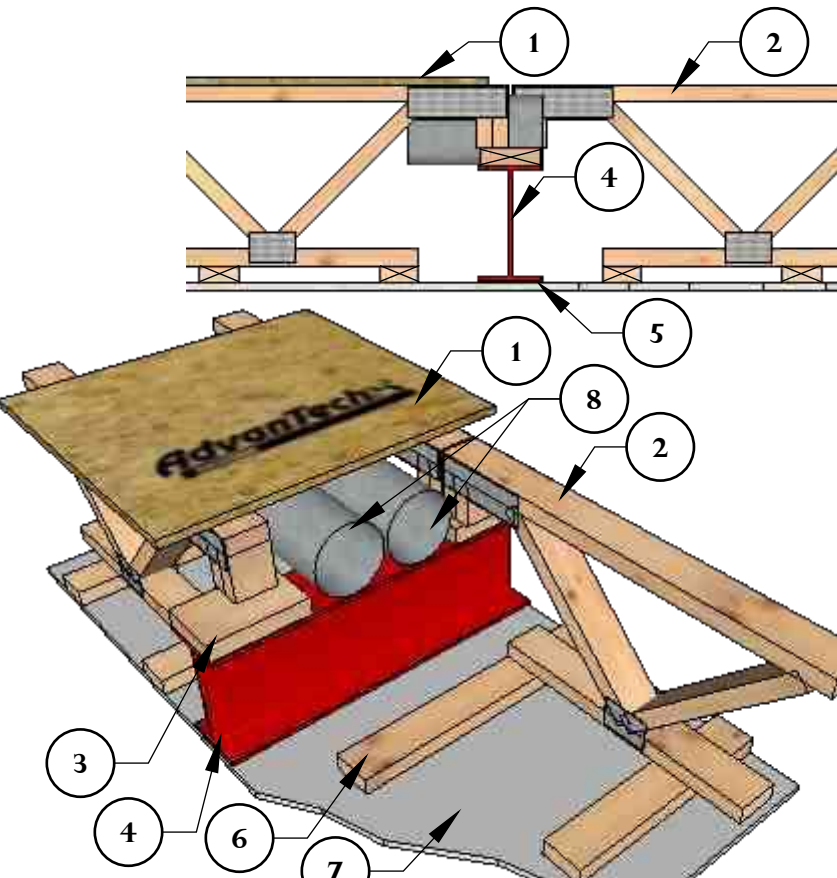


- 1-FOUNDATION WALL, SEE PLAN
- 2-RE-ENFORCED CONCRETE FOOTING, SEE PLAN
- 3-LOWER LEVEL CONCRETE SLAB
- 4-2 - 2947 EGRESS WINDOWS, WINDOW HEAD @ 7'-0"
- 5-FINISHED GRADE TO BE VERIFIED WITH SITE PLAN
- 6-TREATED 2X6 FRAMING ATTACHED TO CONCRETE WALL
- 7-2X6 FRAMING TO CREATE WINDOW ROUGH OPENING
- 8-ZIP SYSTEM EXTERIOR WALL SHEATHING
- 9-COMPACTED BACKFILL W/ 4" MIN. GRAVEL INFILL FOR DRAINAGE
- 10-ROCKWELL WINDOW WELL-VERIFY SIZE (WET 66"x43X31, 36"x48", 60"x72", 84"x96")

EGRESS WINDOW WELL

SCALE: 3/8" = 1'-0"

13
A3.41

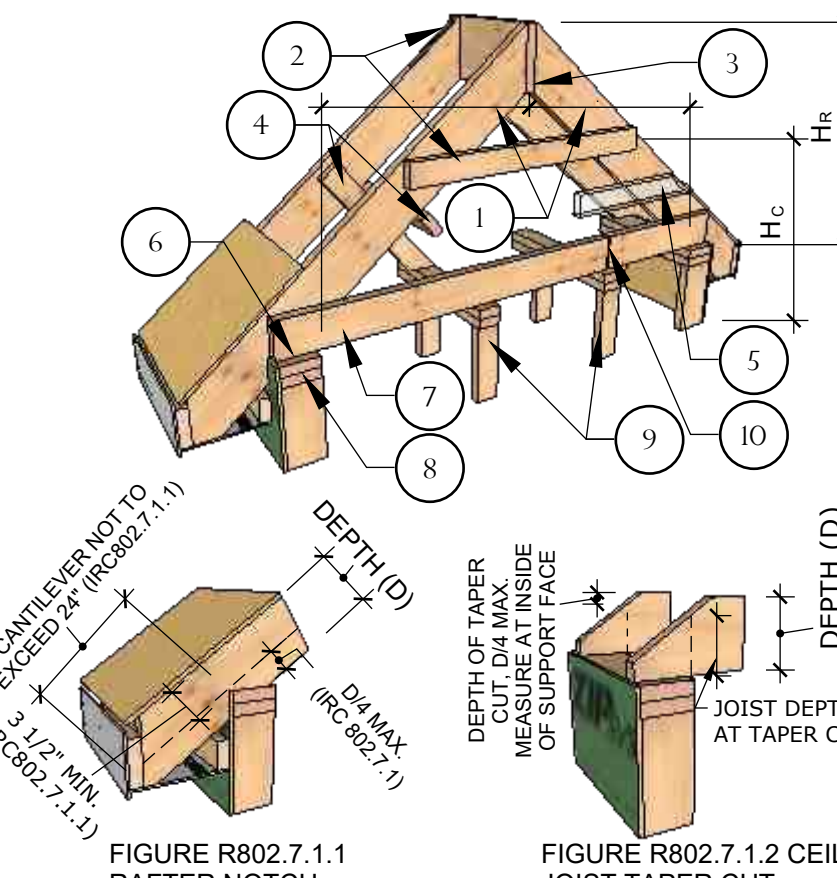


- 1-3/4" T&G SUBFLOOR
- 2-FLOOR TRUSSES PER PLAN
- 3-2X6 WOOD PLATE OVER STEEL BEAM
- 4-STEEL W-BEAM, SEE PLAN FOR SIZE AND LOCATION
- 5-ALLOW 1/4" GAP FROM BEAM TO BOTTOM OF FURRING TO GYP. BOARD
- 6-2X4 FURRING BELOW FLOOR TRUSSES, SEE PLAN FOR SOFFT FRAMING
- 7-5/8" GYP. BOARD CEILING
- 8-6" HVAC DUCTING OVER STEEL BEAM

H.V.A.C. DUCT RUN OVER STEEL BEAM

SCALE: Perspective

14
A3.41

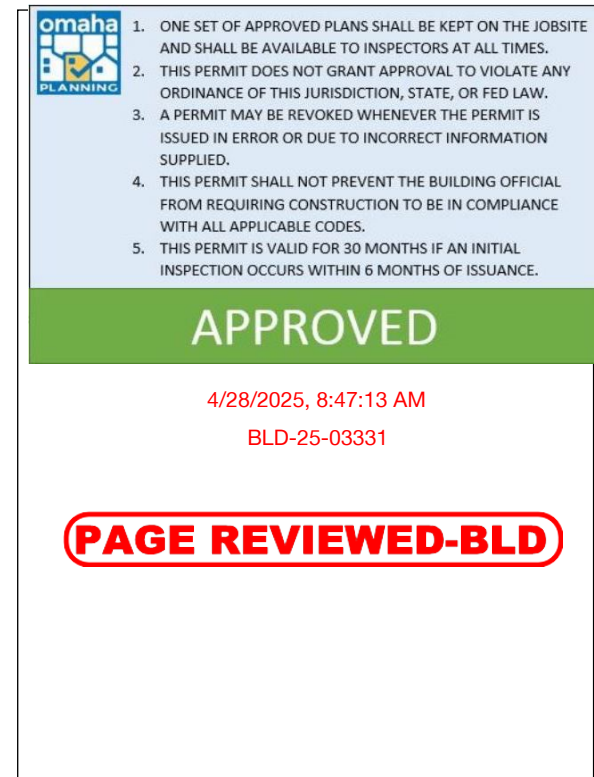


- 1-RAFTER SPANS SEE TABLES R802.4.10 - R802.4.18
- 2-COLLAR TIE OR RIDGE STRAP, SEE SECTION R802.4.6
- 3-RIDGE BOARD OR BEAM, SEE SEC. R802.3
- 4-PURLIN AND BRACE, SEE SEC. R802.4.5
- 5-RAISED RAFTER TIE, SEE SECTION R802.5.2.2 SEE RAFTER SPAN TABLES R802.4.10-R802.4.18) FOR ADJUSTED RAFTER SPANS (d_e = 1/4" = 1/3 MAX.
- 6-RAFTER TO JOIST CONNECTION, SEE SEC. R802.5.2
- 7-CEILING JOISTS, SEE TABLES R802.5.10) AND R802.5.12)
- 8-BEARING WALL TOP PLATES, SEE SECTION R602.3.2
- 9-BEARING PARTITIONS, SEE SEC. R802.5.21
- 10-CEILING JOIST LAP, SEE SEC. R802.5.21

RAFTER AND CEILING JOIST CODE DATA

SCALE: Perspective

15
A3.41



LOT 144
SCHACHNE RESIDENCE
13651 CUMING ST., OMAHA, NEBRASKA 68154



REV.	DATE
PERMIT	03/13/2025
REV01	03/28/2025
REV02	04/10/2025
REV03	04/14/2025
REV04	04/22/2025

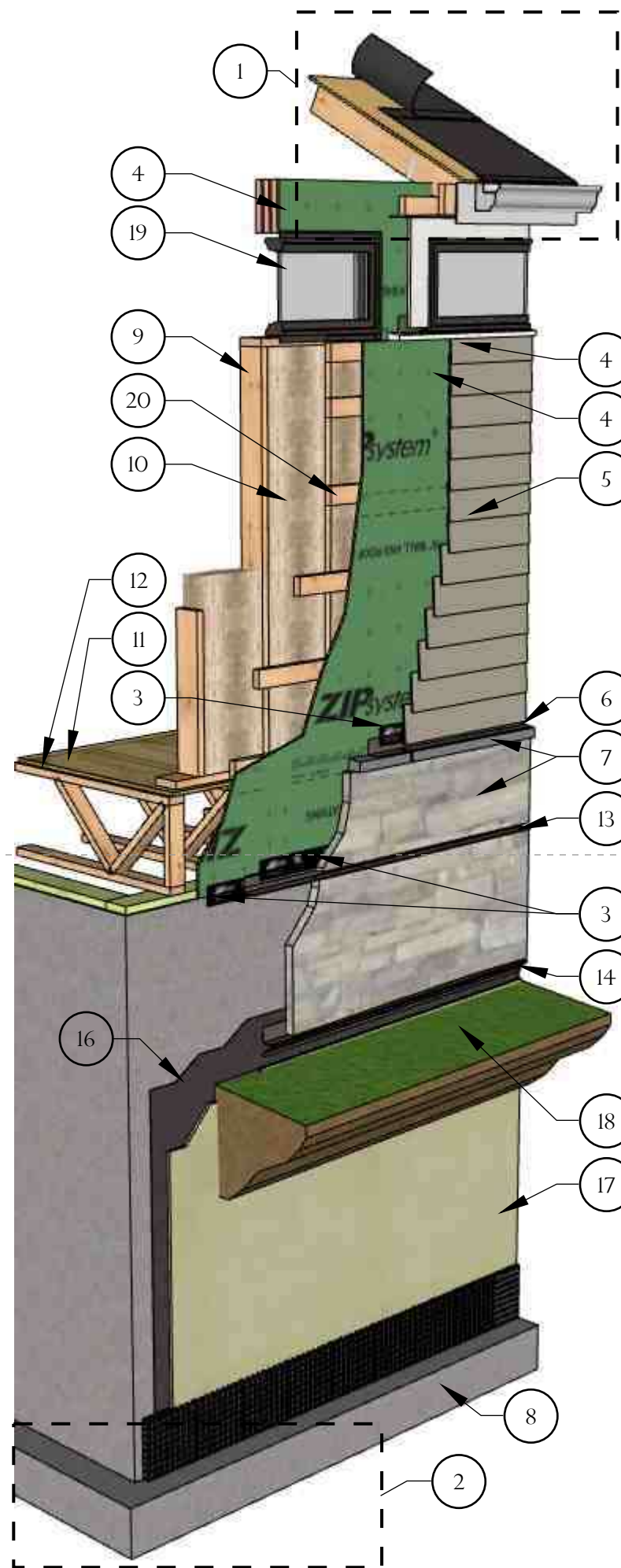
JOB NUMBER
15-2457
DESCRIPTION
STANDARD FRAMING DETAILS

PLAN SHEET

A3.41

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MGB layout



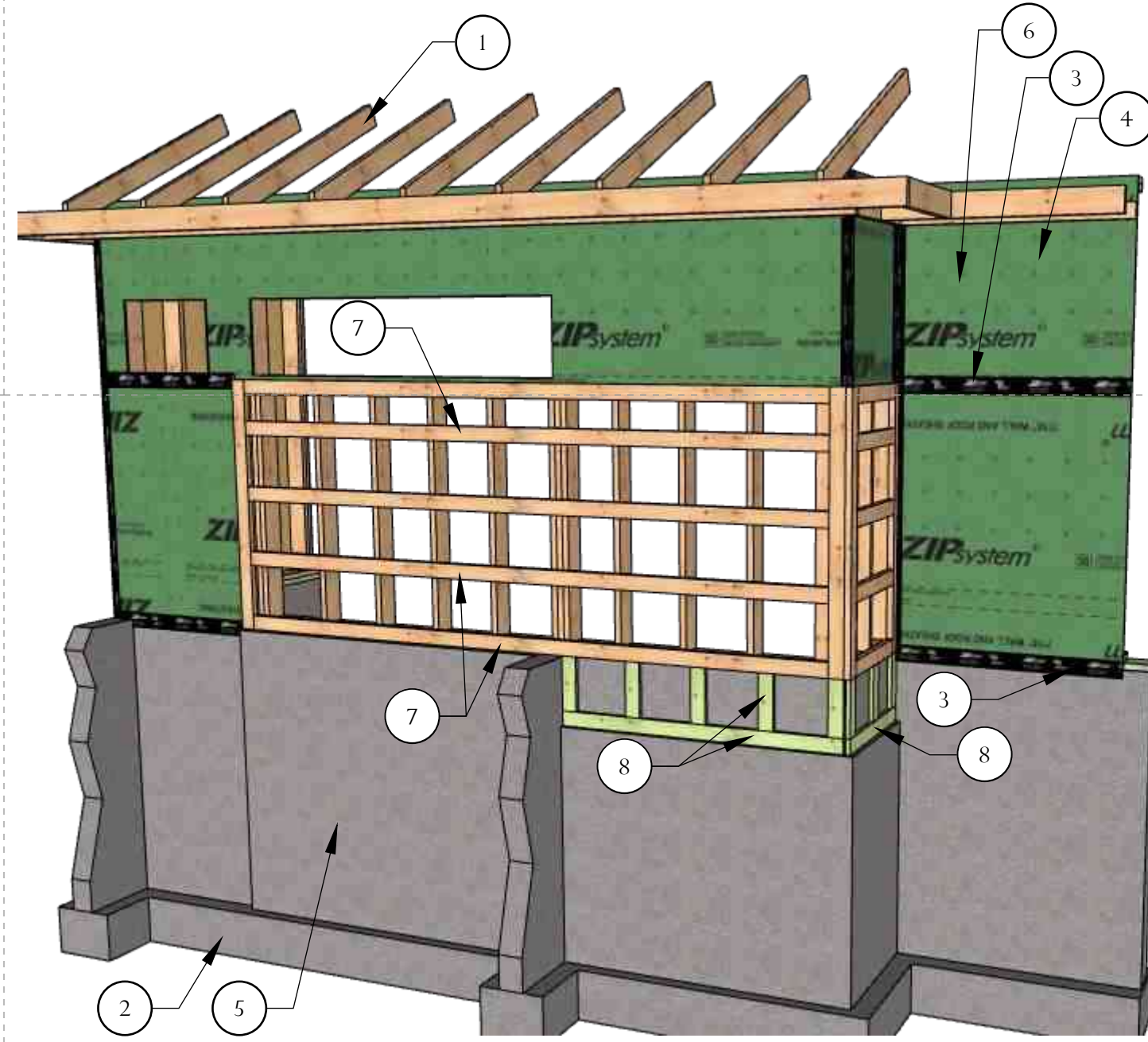
Wall Furring

SCALE: Perspective

- 1-TYPICAL ROOF OVERHANG
SEE DETAIL 12/A3.41
- 2-TYPICAL FOOTING AND
DRAINAGE, SEE DETAIL 4/A3.20
- 3-ZIP SYSTEM SEAM TAPE, APPLY PER
MANUFACTURE INSTALL
- 4-ZIP SYSTEM WALL SHEATHING,
INSTALL PER MANUFACTURE
- 5-6" EXPOSURE SIDING, SEE
EXTERIORS FOR SIDING
AND TRIM PLACEMENT
- 6-PROPER FLASHING UNDER SIDING
AND OVER SILL
- 7-THIN STONE VENEER SILL, SEE
EXTERIORS FOR PLACEMENT AND
ELEVATIONS
- 8-TYPICAL FOUNDATION, SEE PLAN
FOR CONCRETE FOUNDATION
- 9-2X6 EXTERIOR WALL FRAMING, SEE
PLAN AND EXTERIORS FOR WALL
HEIGHTS
- 10-2X6 WALL INSULATION, R-19
(R-20 WALL SYSTEM)
- 11-3/4" T&G ADVANTECH FLOORING
-GLUED AND NAILED PER
MANUFACTURE INSTALL
- 12-18" FLOOR TRUSSES, SEE LAYOUT
DRAWING FROM TRUSS
MANUFACTURE
- 13-TRANSITION FLASHING AT
FOUNDATION / FRAMING
TRANSITION
- 14-TERMINATION FLASHING AT
DETERMINED LINE OF FINISHED
GRADING, FIELD VERIFY HEIGHT
- 15-#5 REBAR @ 16" O.C. VERTICAL 2 1/2"
MIN. FROM INSIDE FACE
- 16-SPRAY APPLIED WATERPROOF
MEMBRANE ACROSS ENTIRE BURIED
FOUNDATION WALL
- 17-3/4" DRAINAGE BOARD
MECHANICALLY FASTENED TO
FOUNDATION WALL
- 18-FINISHED GRADE, SEE SITE PLAN
- 19-TYPICAL WINDOW SYSTEM, SEE
EXTERIORS AND PLAN FOR SIZING
AND LOCATION
- 20-2X4 FURRING HAT ONTO 2X6
WALL STUDS, SHEATHING SYSTEM
TO TRANSITION OVER FURRING

01
A3.42

- 1-TYPICAL ROOF OVERHANG
SEE DETAIL 12/A3.41
- 2-TYPICAL FOOTING AND
DRAINAGE, SEE DETAIL 4/A3.20
- 3-ZIP SYSTEM SEAM TAPE, APPLY PER
MANUFACTURE INSTALL
- 4-ZIP SYSTEM WALL SHEATHING,
INSTALL PER MANUFACTURE
- 5-TYPICAL FOUNDATION, SEE PLAN
FOR CONCRETE FOUNDATION
- 6-2X6 EXTERIOR WALL FRAMING, SEE
PLAN AND EXTERIORS FOR WALL
HEIGHTS
- 7-2X4 FURRING HAT ONTO 2X6
WALL STUDS, SHEATHING SYSTEM
TO TRANSITION OVER FURRING
- 8-2X4 TREATED FURRING HAT
ONTO FOUNDATION WALL,
SHEATHING SYSTEM TO
TRANSITION OVER FURRING
- 9-SEE EXTERIORS AND ISO DETAIL
01/A3.42 FOR SIMILAR FINISH
- 10-SEE EXTERIORS AND SECTIONS
03/A3.10 AND 04/A3.10 FOR
ELEVATIONS AND LEDGES



Planter at Garage (Inside Planter)

SCALE: Perspective

02
A3.42

omaha

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LOT 144

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McNEIL

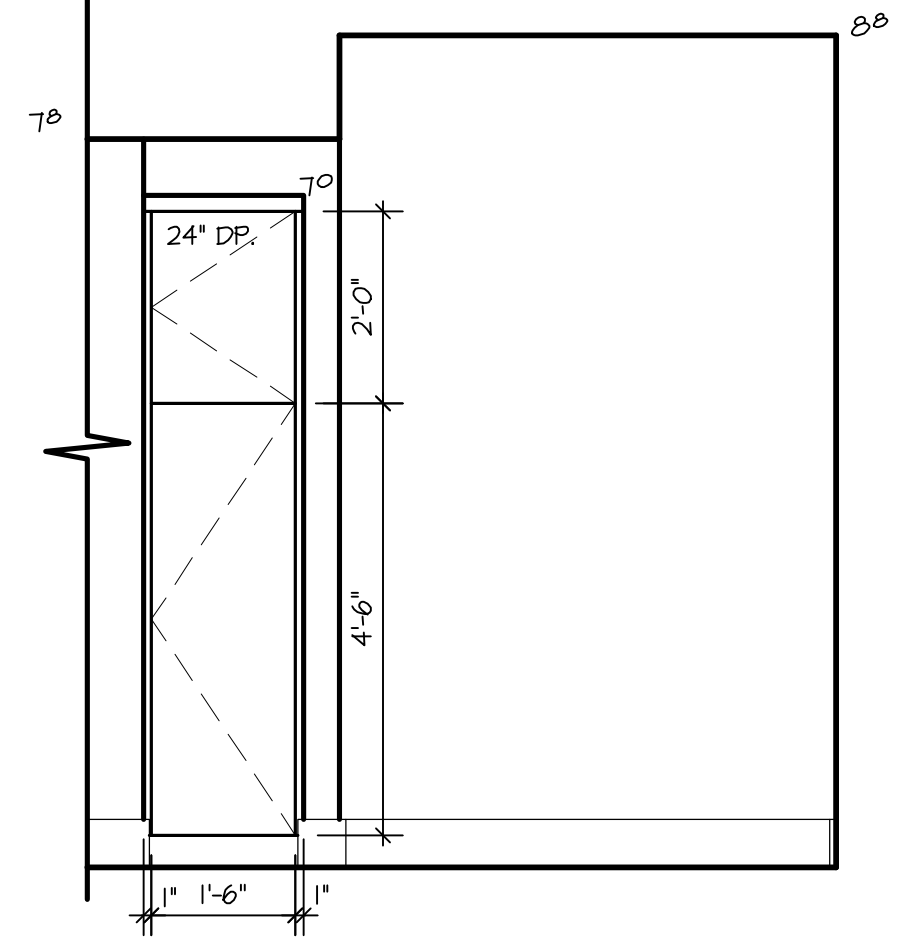
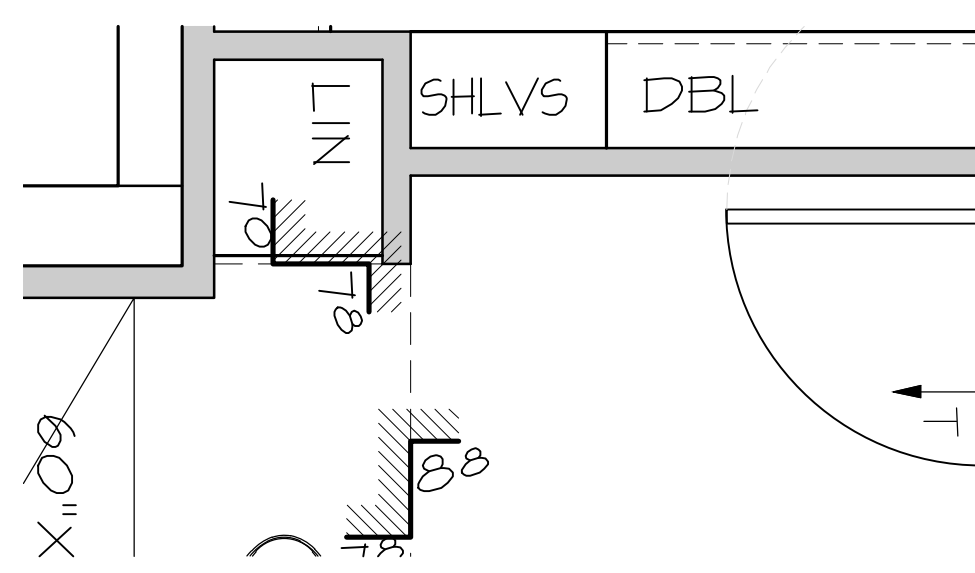
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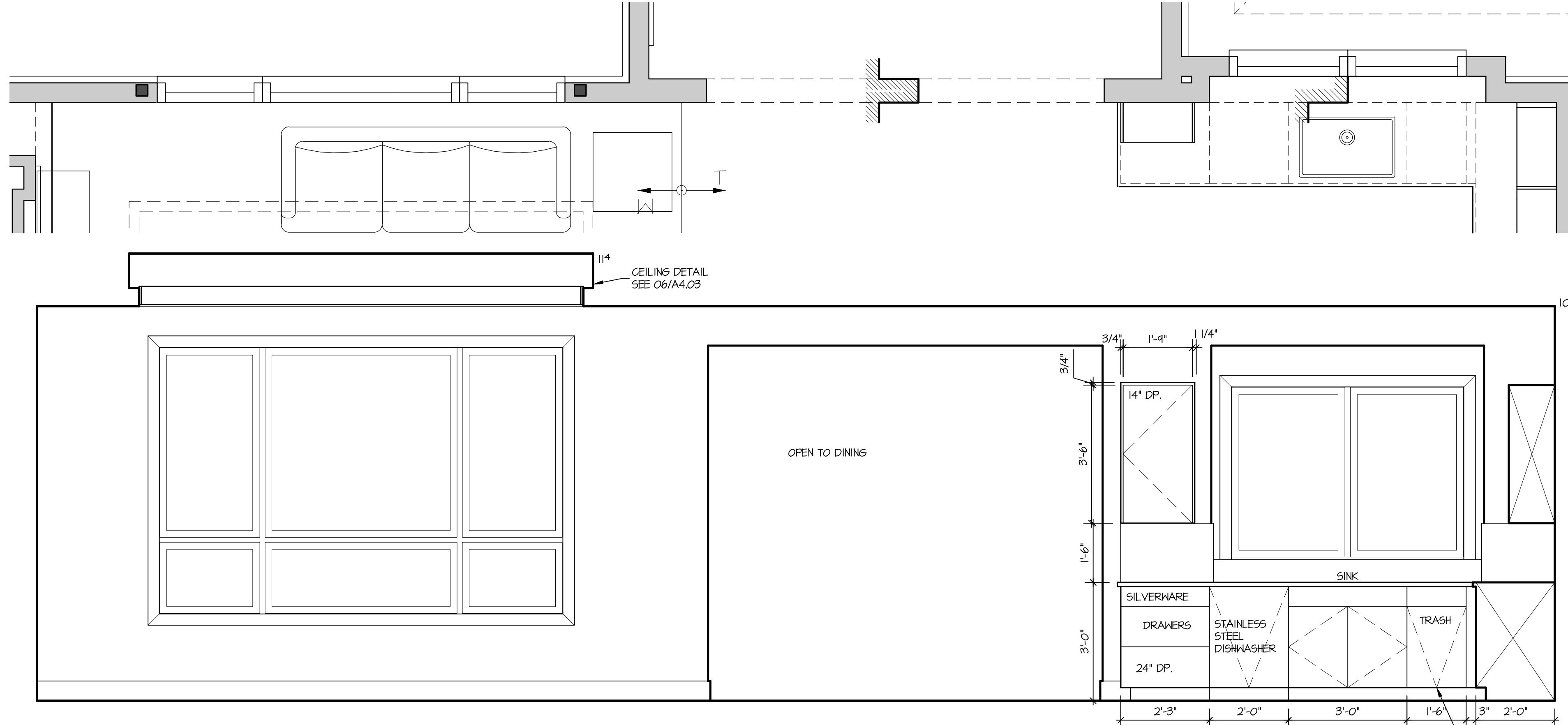
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REV.	DATE
PERMIT	03/13/2025
REV01	03/28/2025
REV02	04/10/2025
REV03	04/14/2025
REV04	04/22/2025

JOB NUMBER
15-2457
DESCRIPTION
FRAMING ISO DETAILS
PLAN SHEET
A3.42

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04 BATH #3
1/2" SCALE



06 GREAT ROOM / DINING / KITCHEN
1/2" SCALE

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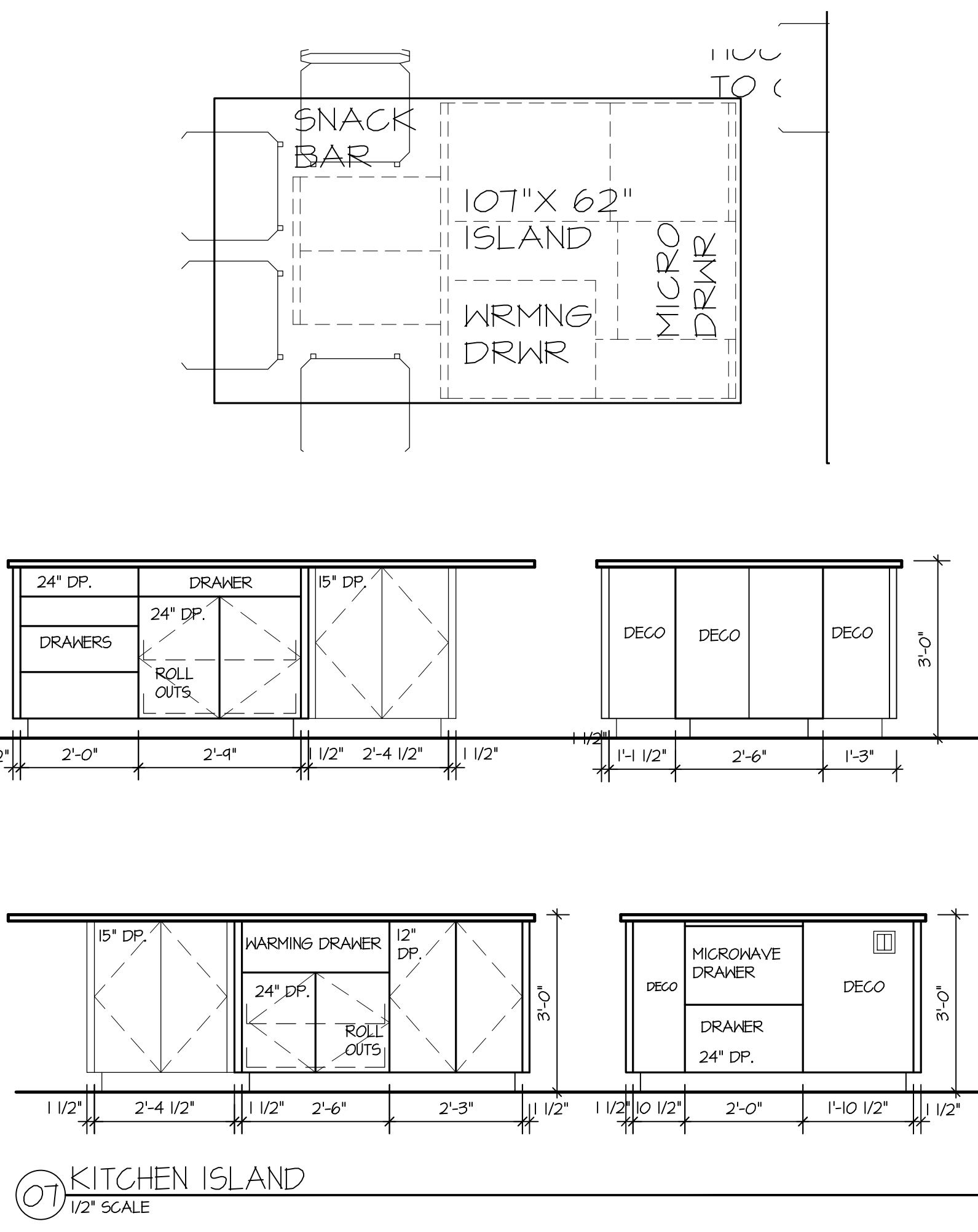
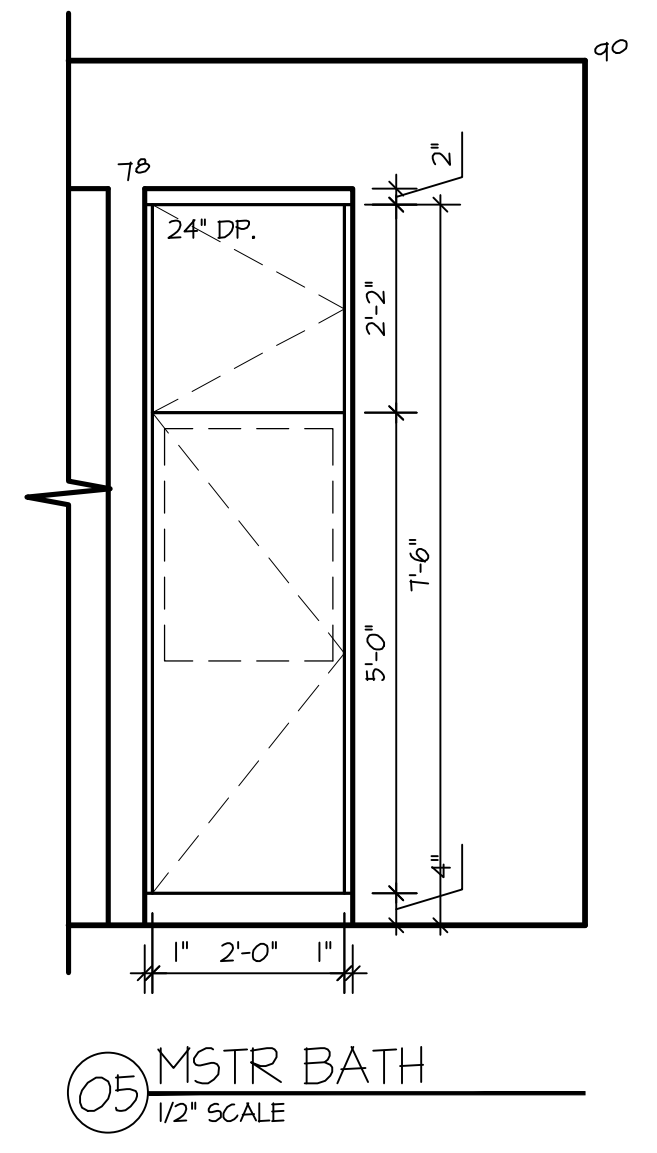
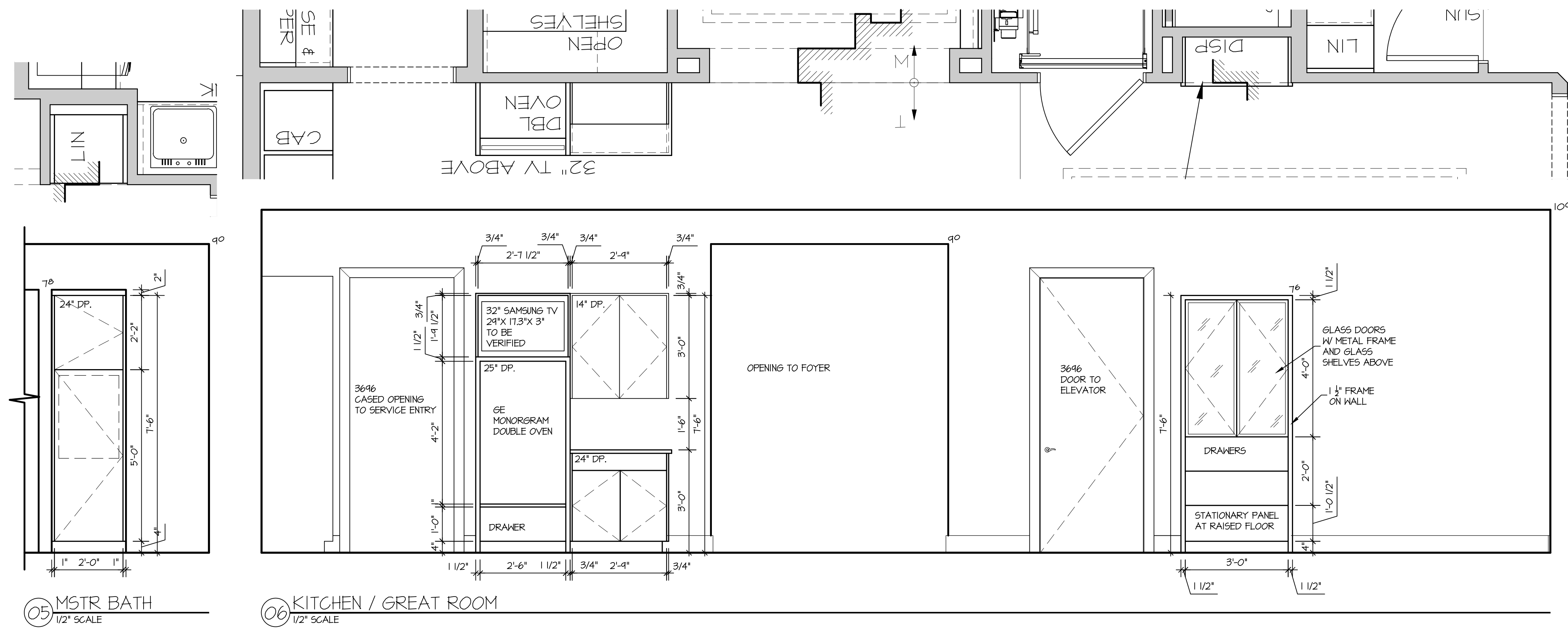
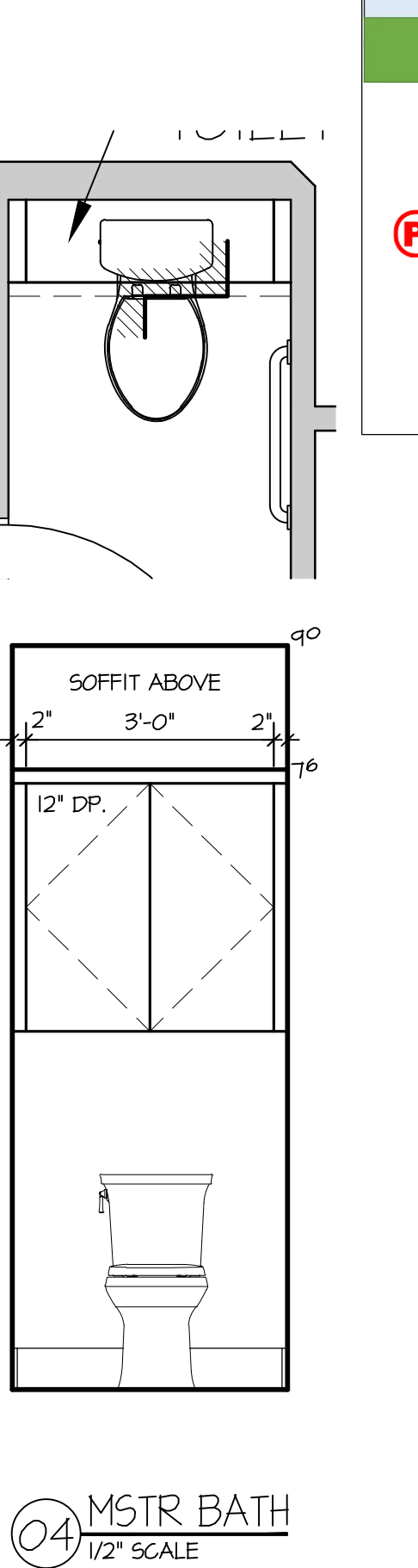
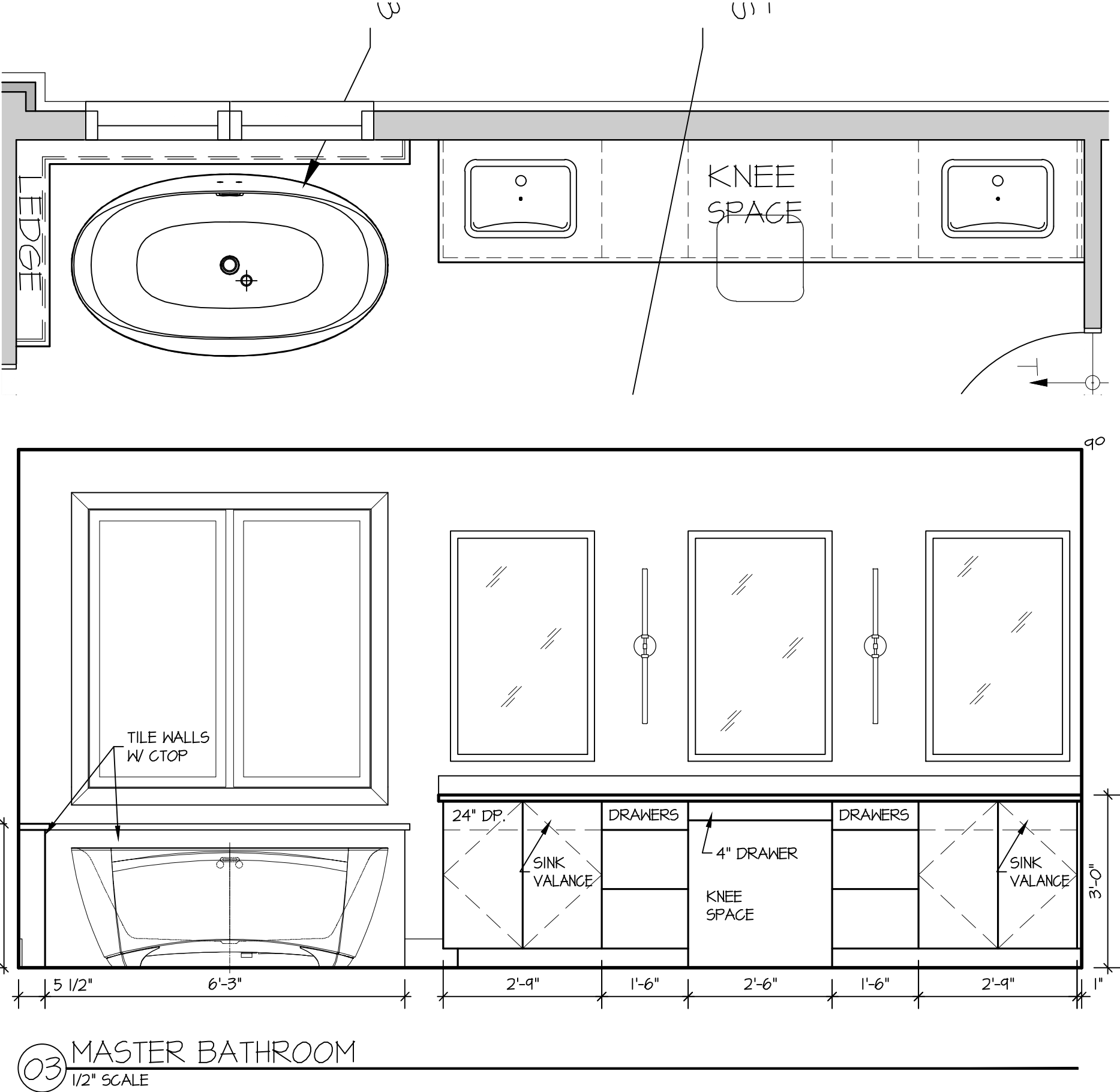
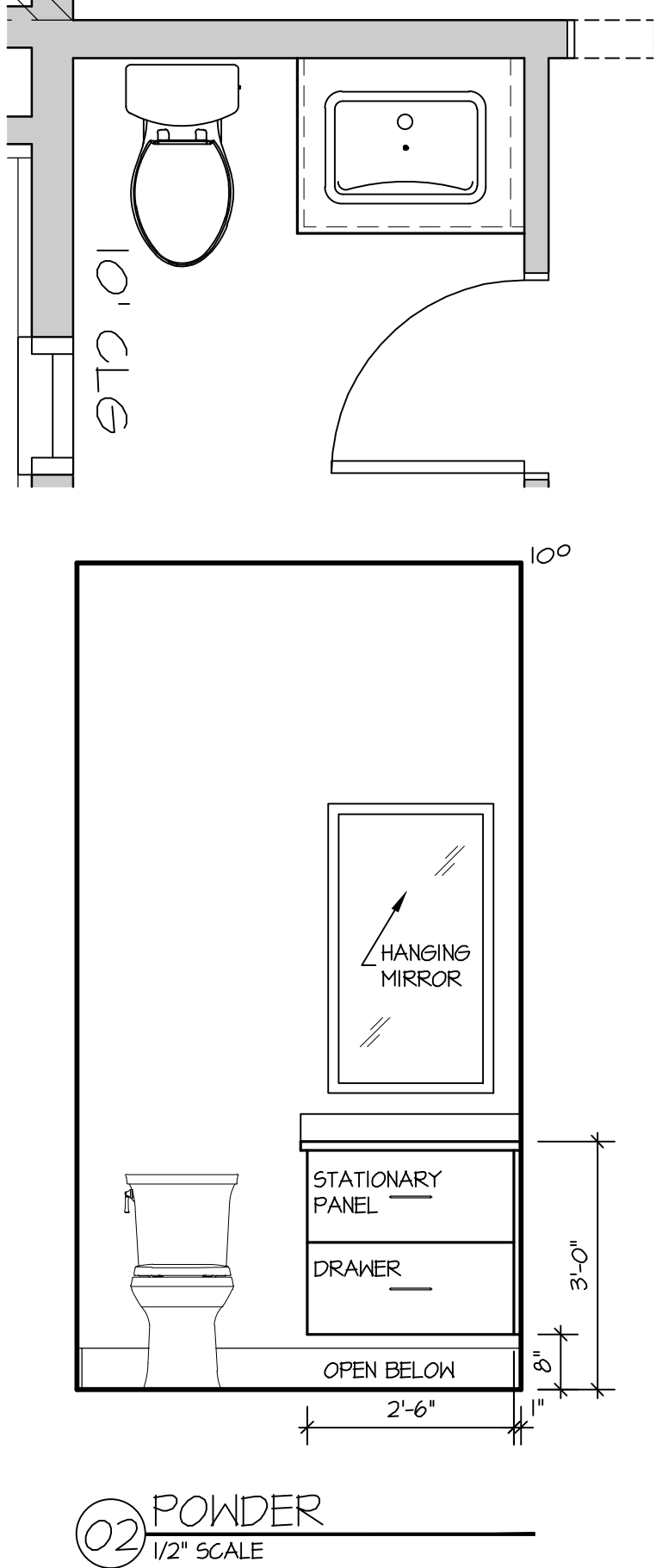
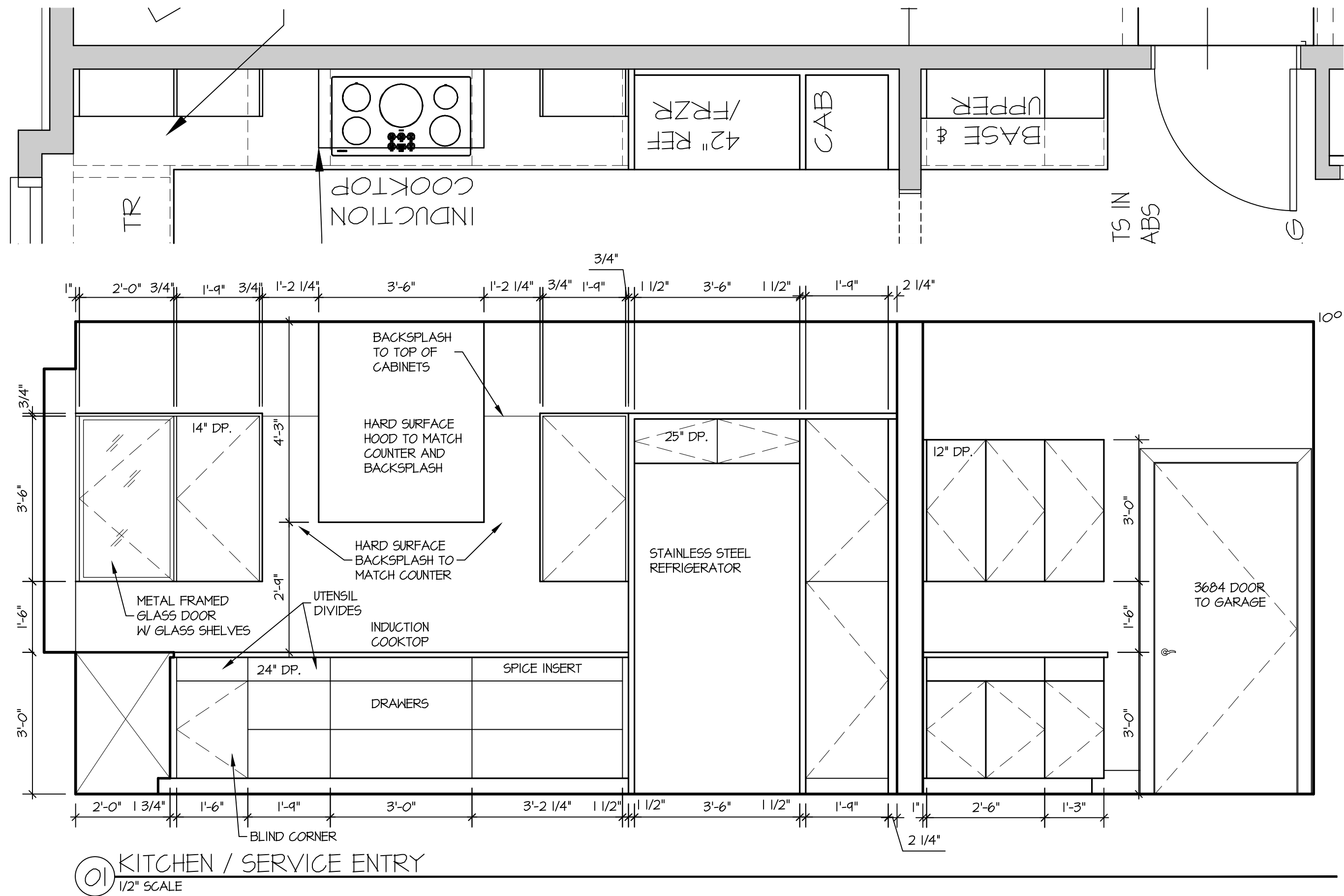


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JOB NUMBER
15-2457
DESCRIPTION
INTERIOR ELEVATIONS
PLAN SHEET
A4.01

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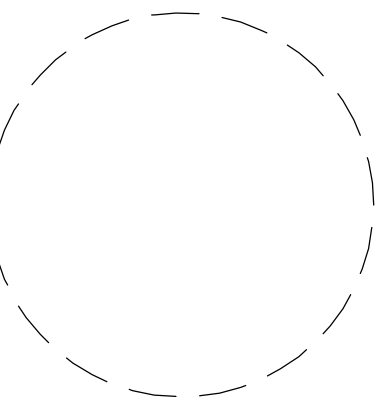
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LOT 144
SCHACHNE RESIDENCE
13651 CUMING ST OMAHA NE 68154

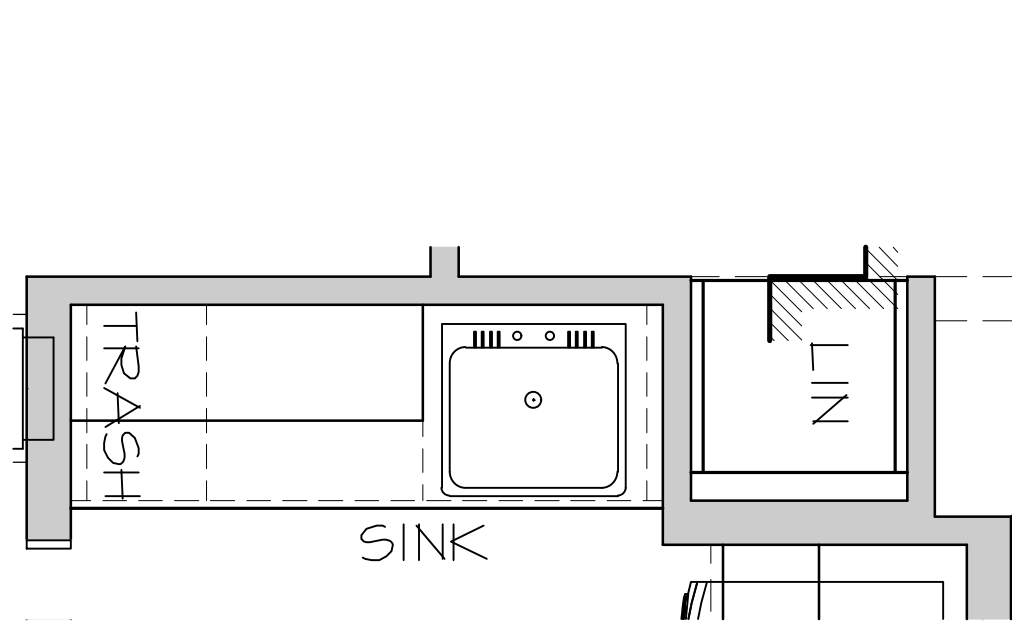
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PLAN DATE	12/24/2024
REV.	DATE
PERMIT	03/13/25
REV 01	03/28/25
REV 02	04/10/25
REV 03	04/14/25
REV 04	04/22/25

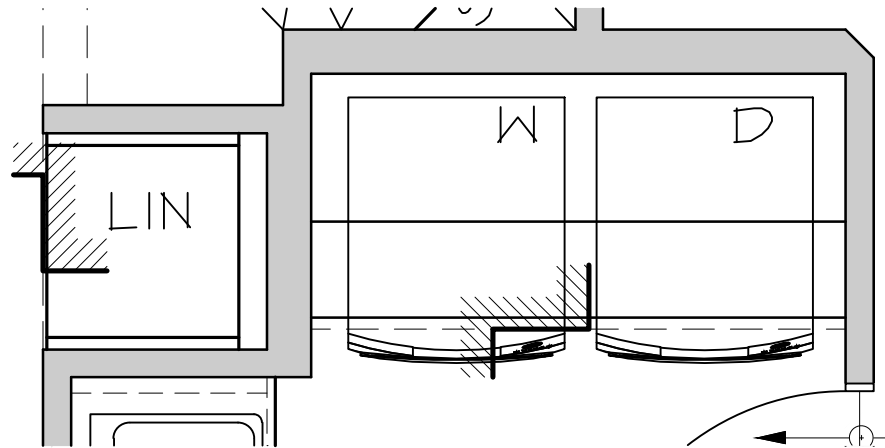


JOB NUMBER
15-2451
DESCRIPTION
INTERIOR ELEVATIONS
PLAN SHEET
A4.02

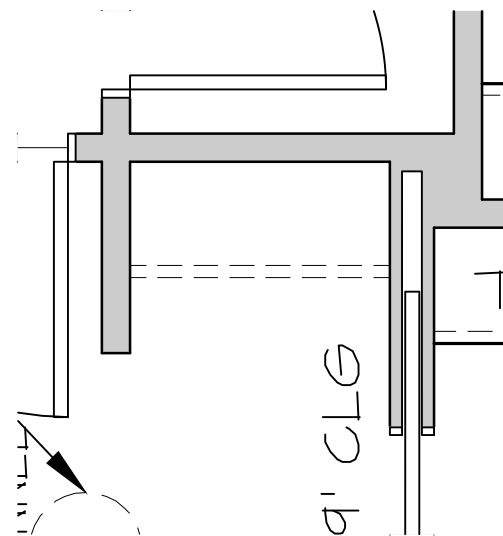
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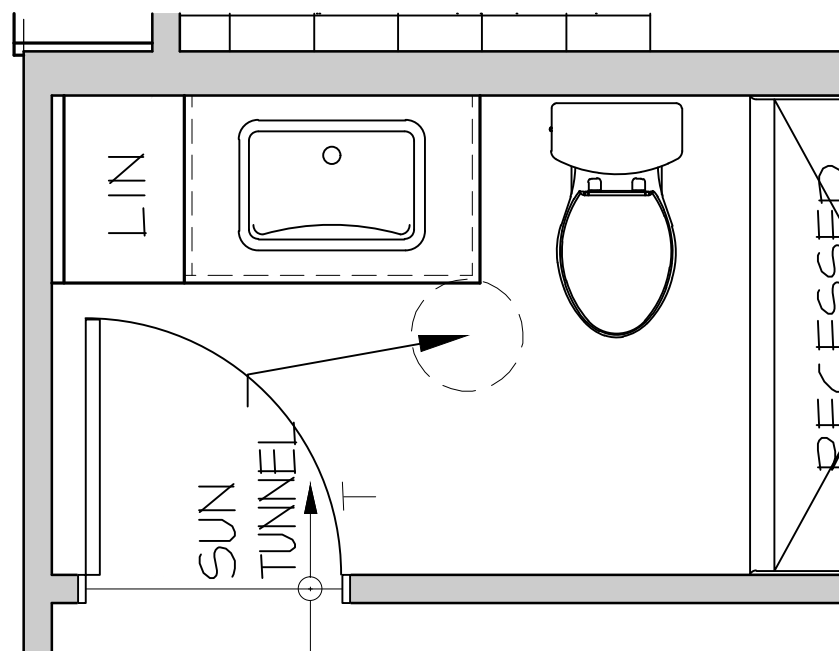
01 LAUNDRY
1/2" SCALE



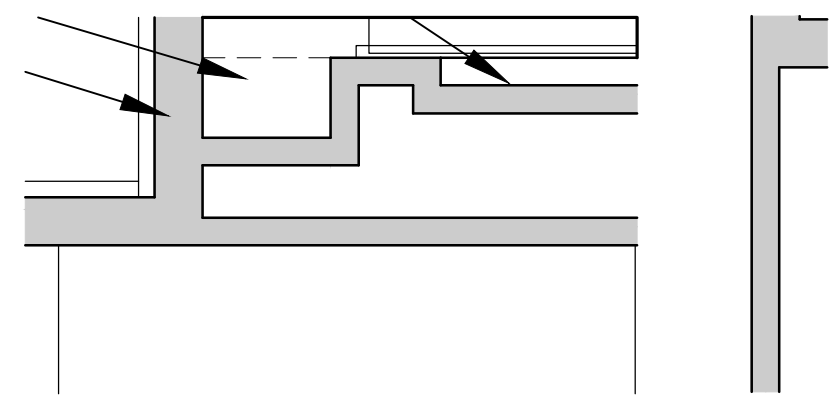
02 LAUNDRY
1/2" SCALE



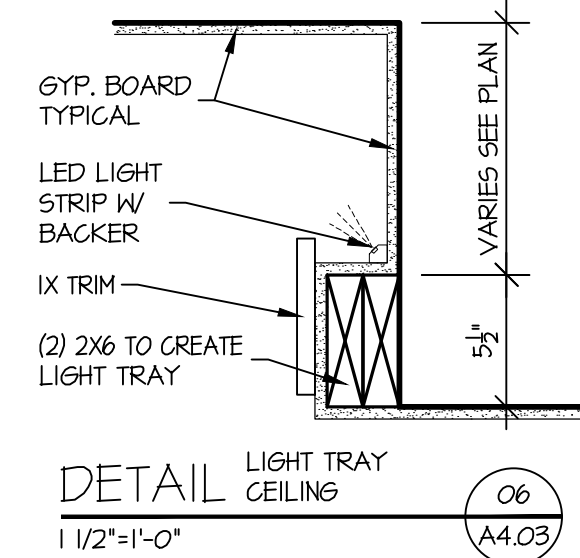
03 LAUNDRY
1/2" SCALE



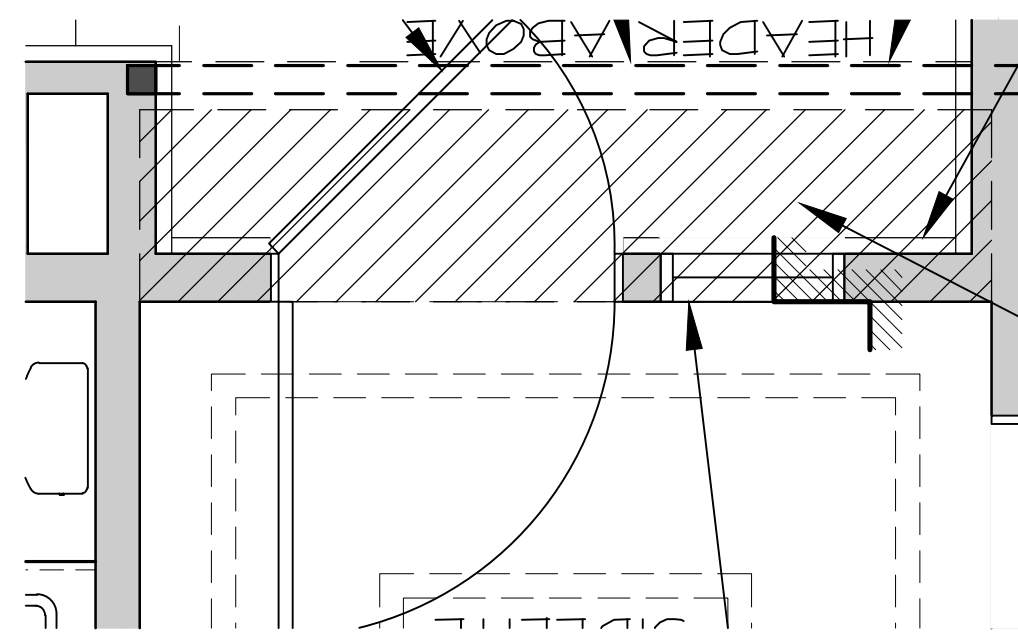
04 GUEST BATH
1/2" SCALE



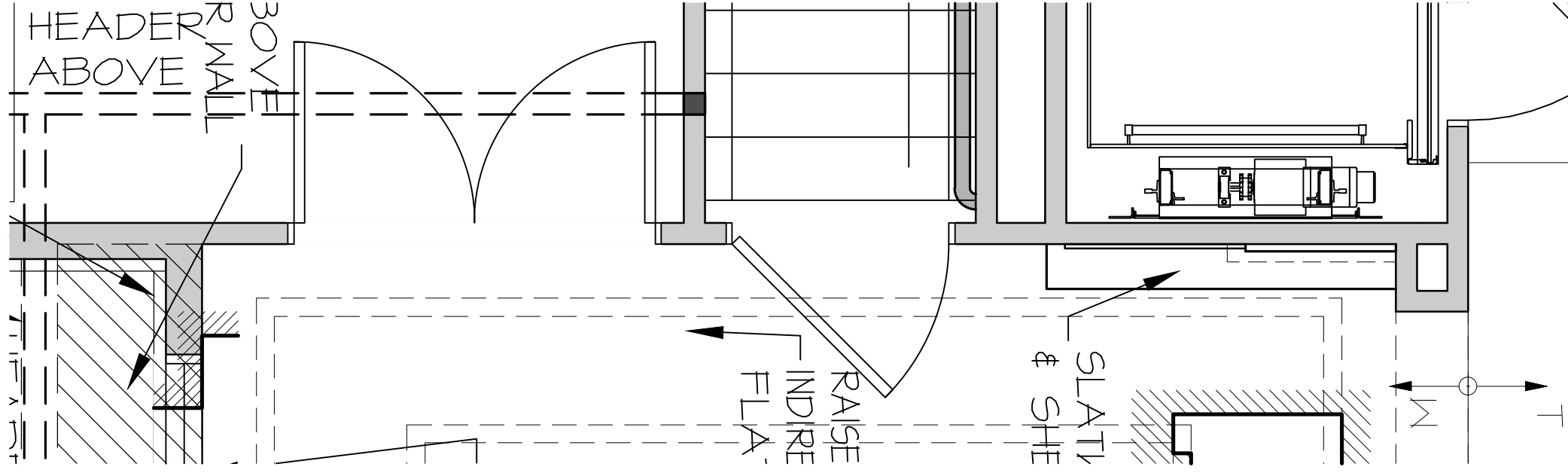
05 MASTER BEDROOM
1/2" SCALE



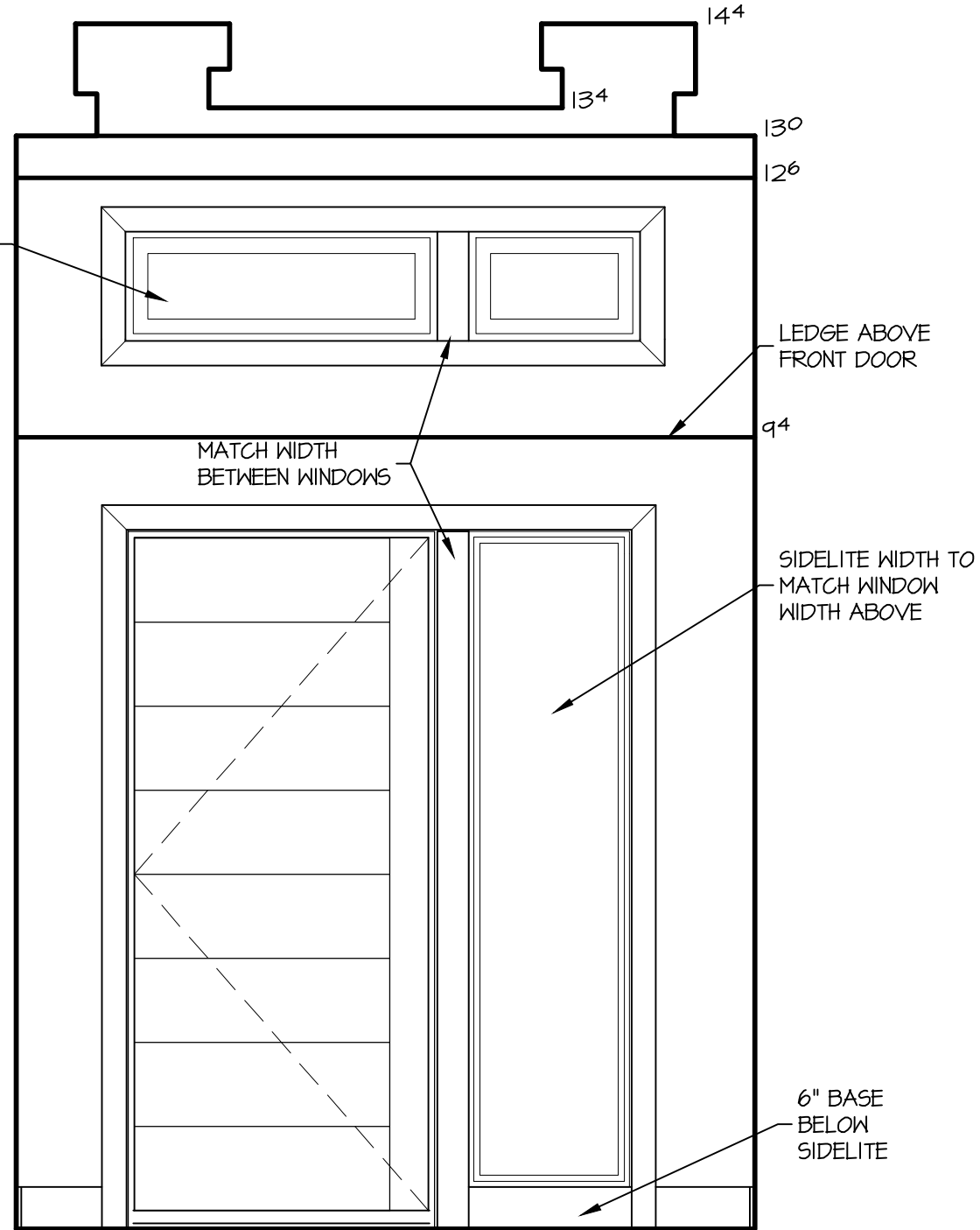
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A4.03



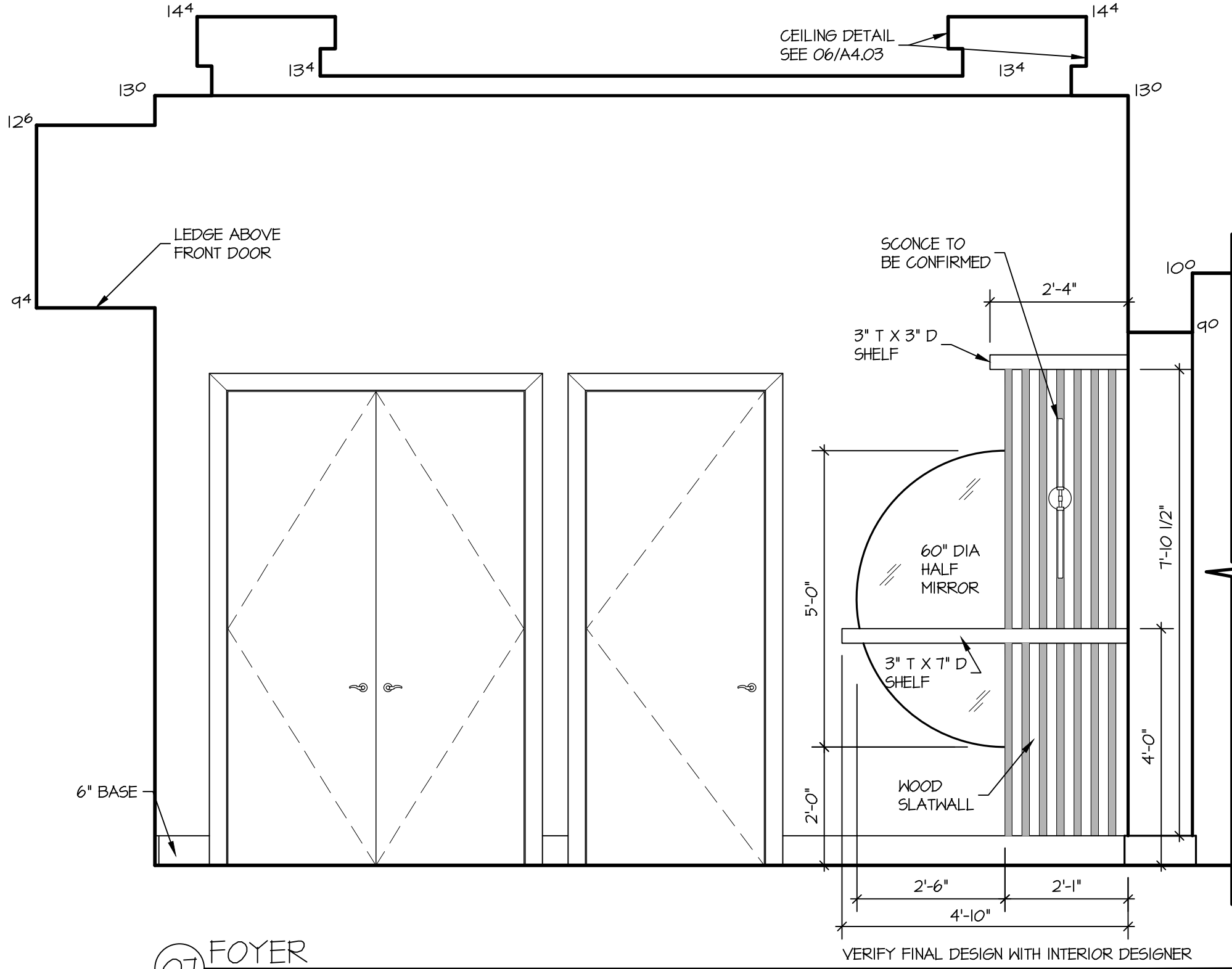
08 FOYER
1/2" SCALE



07 FOYER
1/2" SCALE

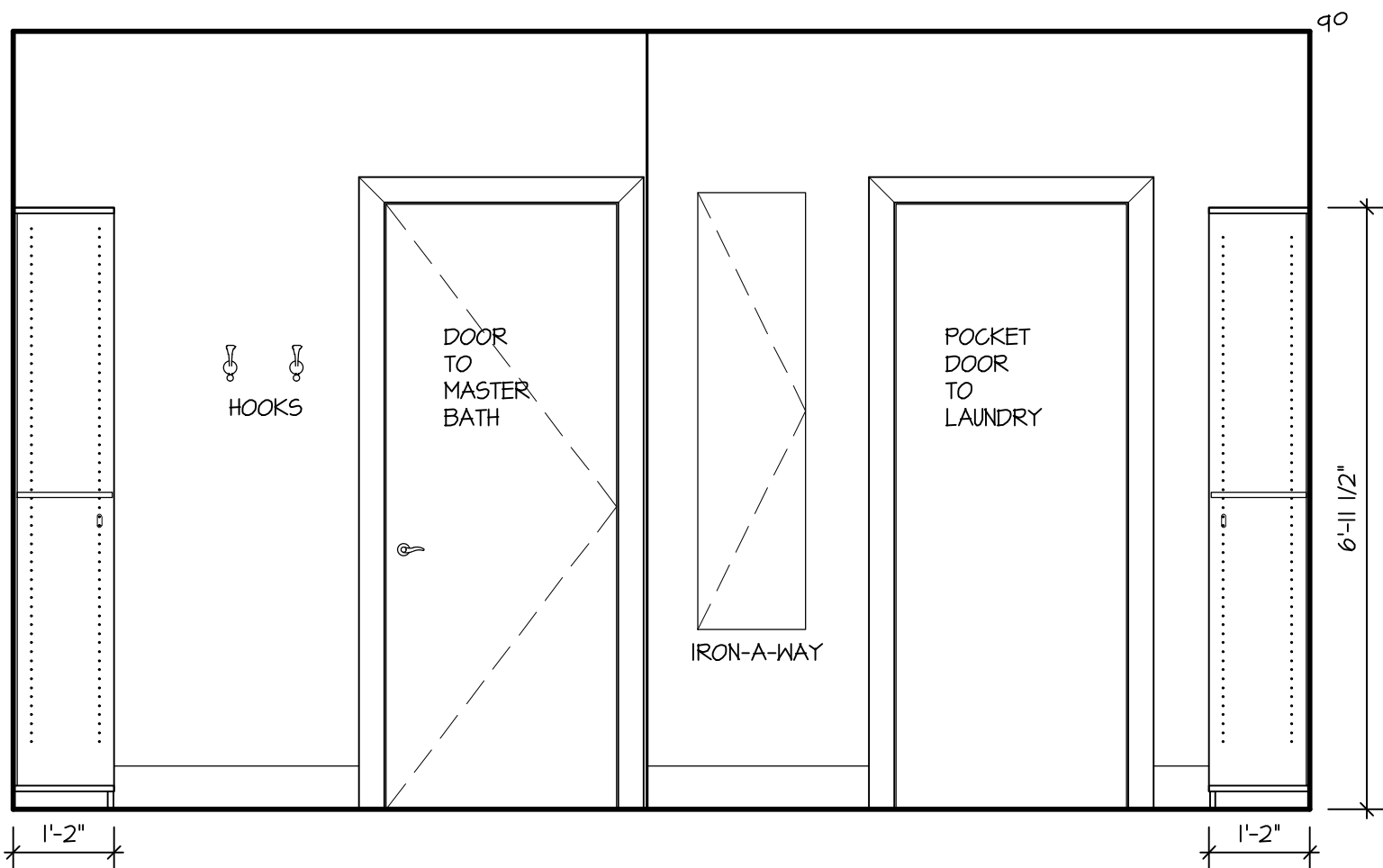
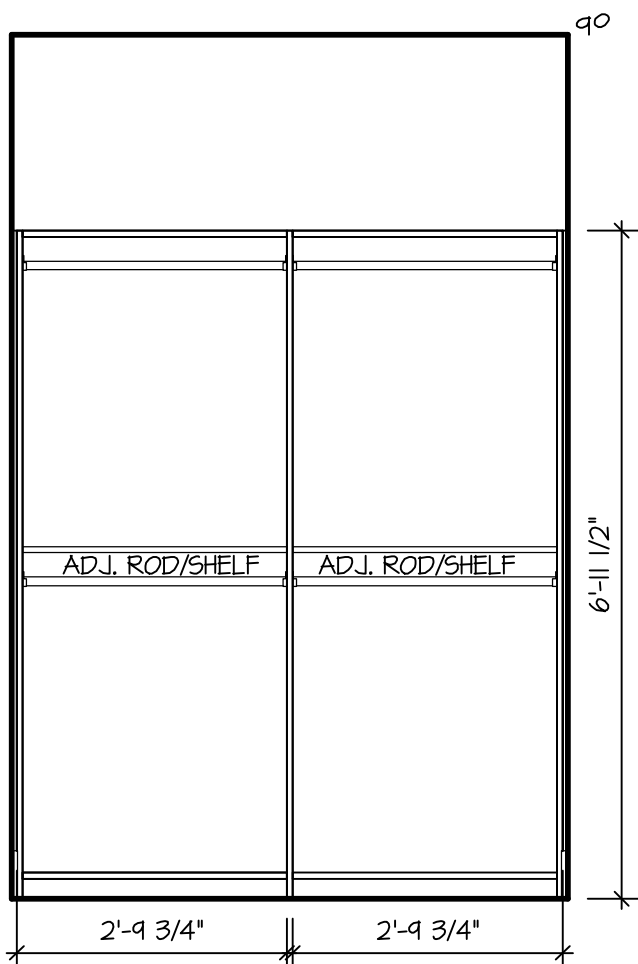
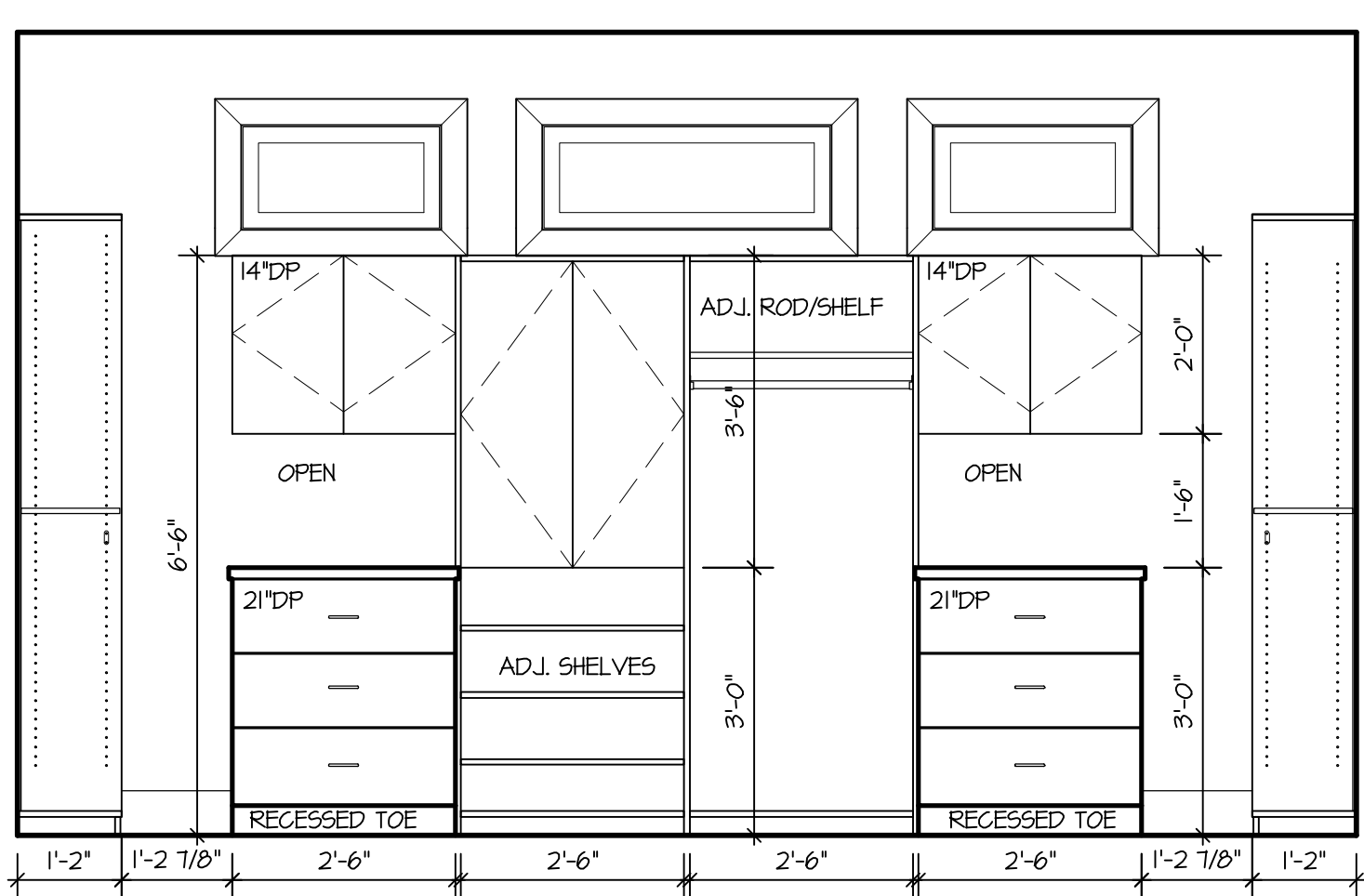
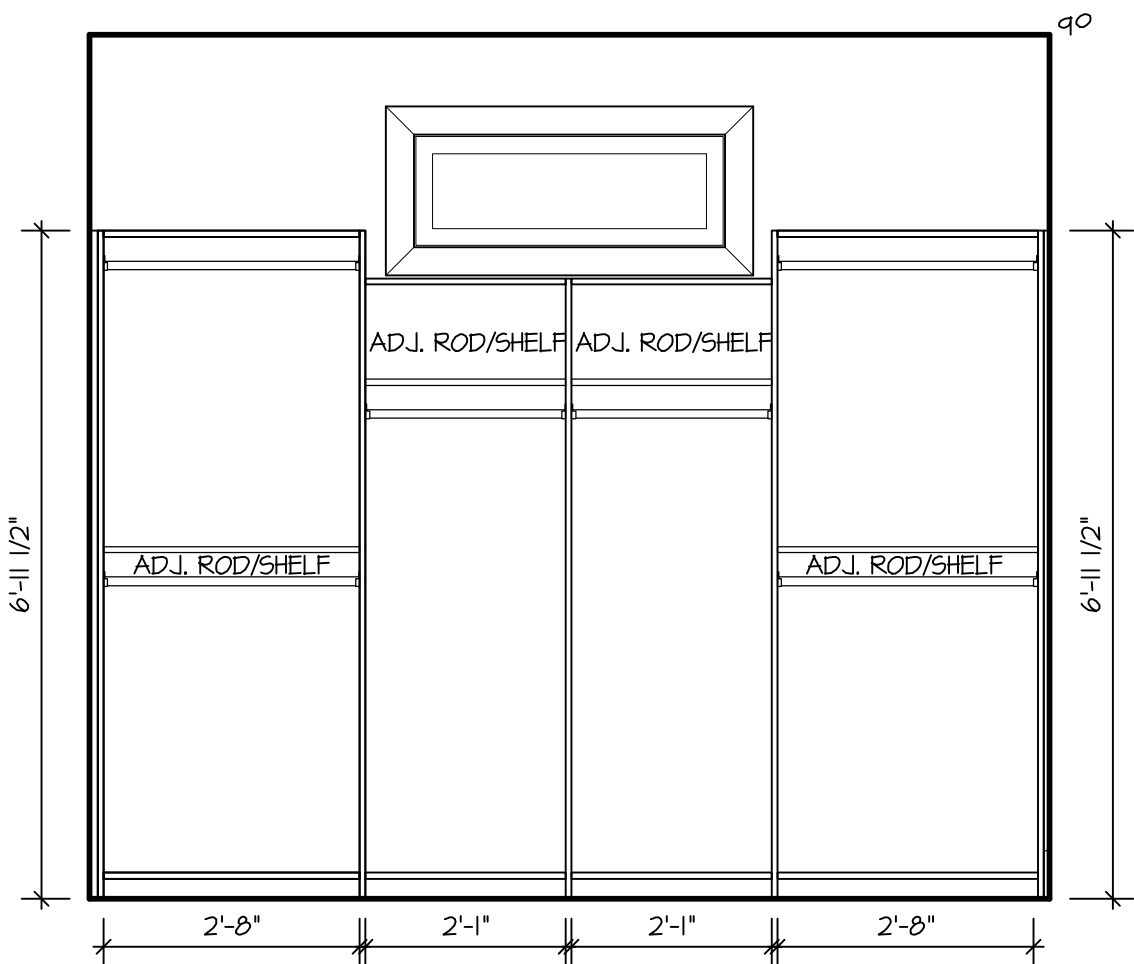
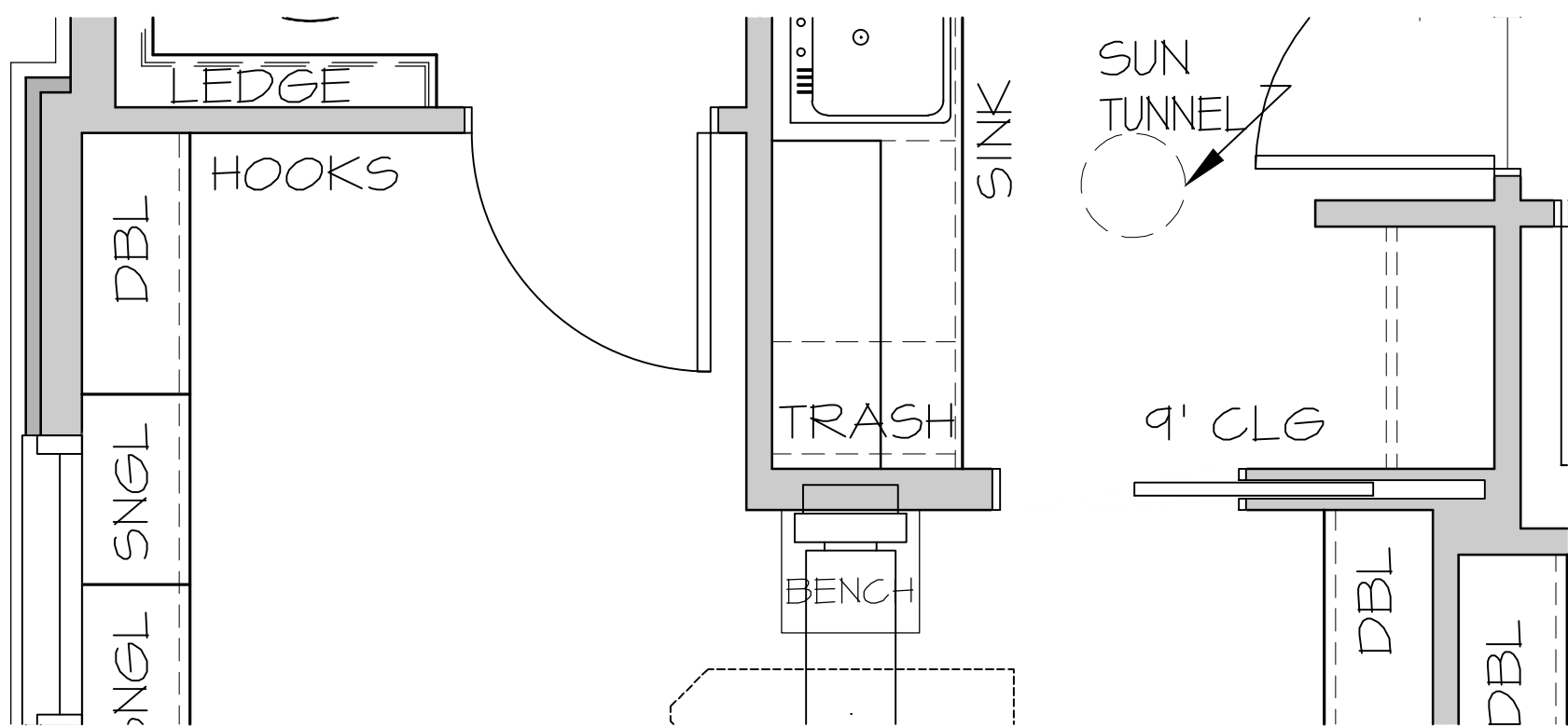
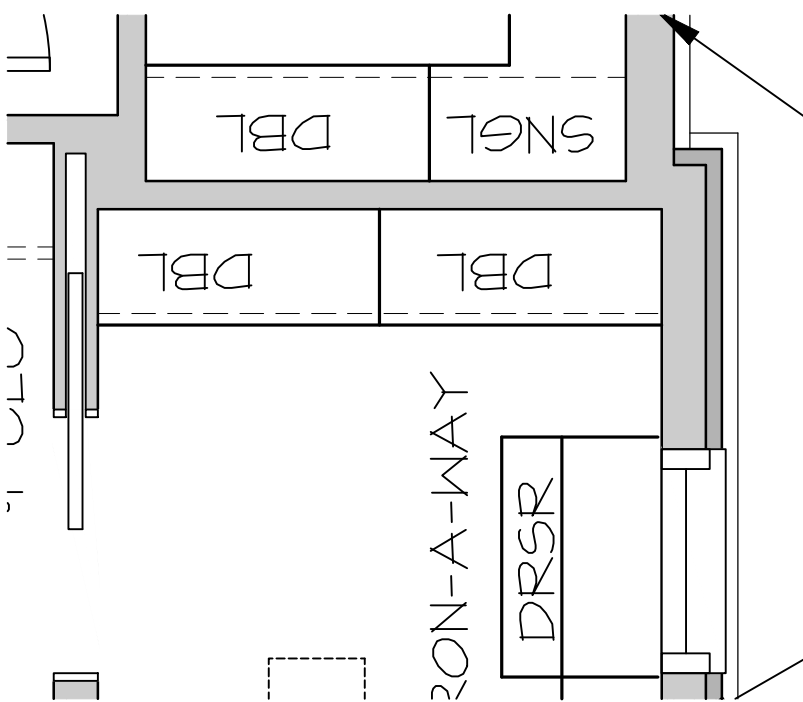
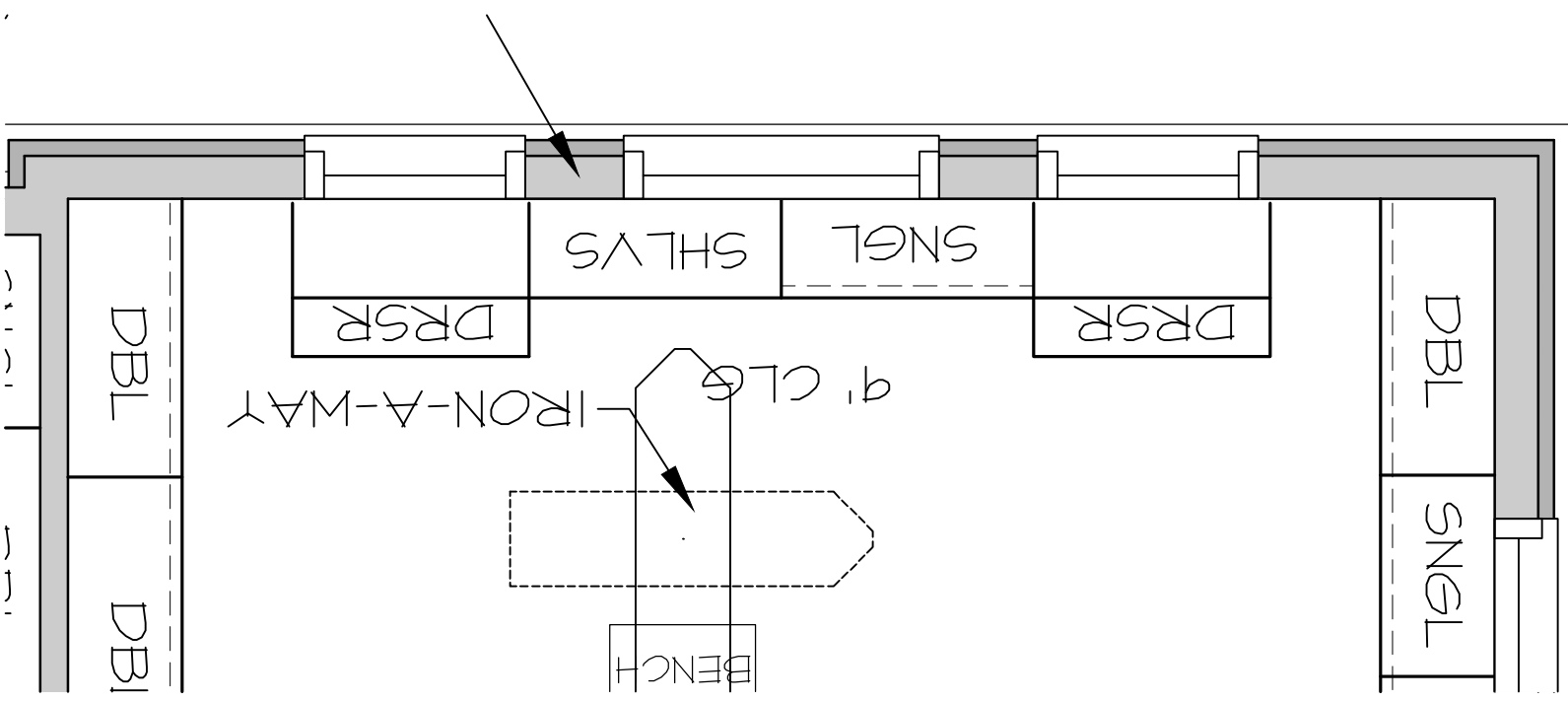
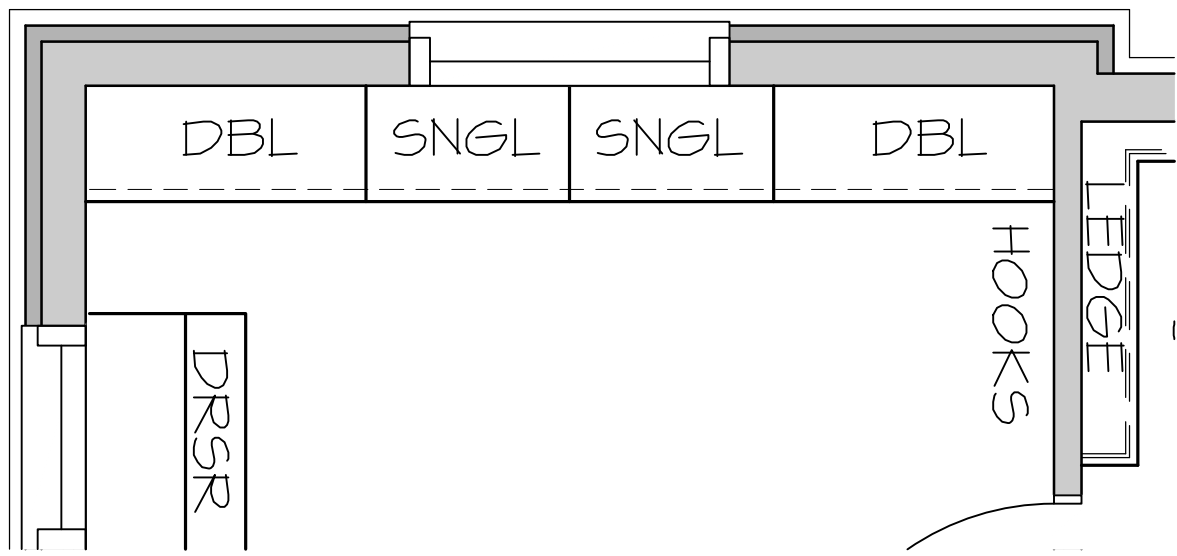


08 FOYER
1/2" SCALE



07 FOYER
1/2" SCALE

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D:\MCNEIL COMPANY DROPBOX\JEFF ANDERSON\McNEIL DESIGN\RESIDENTIAL\15-2451 SCHACHNE LOT 144\A4 INTERIOR.DWG
HOME PAGE: A0.01



01 MASTER WARDROBE
1/2" SCALE

02 MASTER WARDROBE
1/2" SCALE

03 MASTER WARDROBE
1/2" SCALE

04 MASTER WARDROBE
1/2" SCALE

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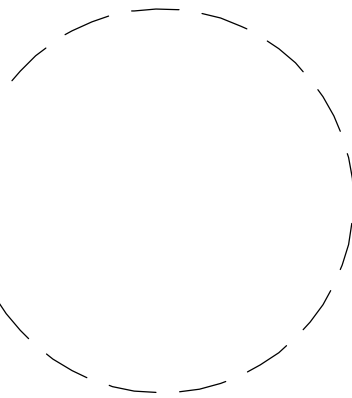
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MCNEIL

COMPANY

4666 South 132nd Street
Omaha, NE 68137
402-333-1462
mcneilcompany.com

PLAN DATE 12/24/2024	
REV.	DATE
PERMIT	03/13/25
REV 01	03/28/25
REV 02	04/10/25
REV 03	04/14/25
REV 04	04/22/25



JOB NUMBER
15-2451
DESCRIPTION
INTERIOR ELEVATIONS
PLAN SHEET
A4.04

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HOME PAGE: A0.01

SWITCHES & CONTROLS

SWITCH (SINGLE POLE)

SWITCH (THREE WAY)

SWITCH (FOUR WAY)

SWITCH (DIMMER)

SWITCH (JAMB)

SWITCH (MOTION)

FLOOR TO FLOOR CONNECTION

MOTION SENSOR

SECURITY KEYPAD

ZONE CONTROL SYSTEM

MSDE

ELECTRICAL PANEL

RECEPTACLES

110V DUPLEX OUTLET

110V DUPLEX OUTLET (UNDERCOUNTER)

110V DUPLEX OUTLET (GROUND FAULT INTERRUPTER)

110V DUPLEX OUTLET GFI AND WATERPROOF

110V DUPLEX OUTLET (BOTTOM SWITCHED)

110V QUADPLEX OUTLET

220V DUPLEX OUTLET UNDERCOUNTER PLUG MOULD

110V DUPLEX OUTLET (FLOOR MOUNTED)

110V DUPLEX OUTLET (CEILING MOUNTED)

USB/DUPLEX CHARGING STATION

PHONE JACK

DATA/CABLE CONTROL KEYPAD

THERMOSTAT CONTROL

SMOKE DETECTOR

CARBON MONOXIDE DETECTOR

SMOKE/CARBON MONOXIDE DETECTOR

TV LOCATION

DATA PULL LOCATION (CONDUIT TO ABOVE CEILING)

LIGHTING FIXTURES

SURFACE LIGHT FIXTURE

SURFACE LIGHT FIXTURE

RECESSED CAN LIGHT

RECESSED SLOPED CAN LIGHT

RECESSED EYE CAN LIGHT

RECESSED SLOPED EYE CAN LIGHT

RECESSED PJK LIGHT

WELL LIGHT

UNDERCOUNTER LIGHT

INDIRECT LIGHTING

WALL MOUNTED LIGHT FIXTURE

EXHAUST FAN

FAN/LIGHT COMBO

FLOOD LIGHT

SOLATUBE W/ RIGID TUNNEL

TREAD LIGHT

TRACK LIGHTING

SURFACE MOUNT LINEAR FIXTURE

2X2 RECESSED MOUNT NEAR FIXTURE

2X4 RECESSED MOUNT LINEAR FIXTURE

SURFACE MOUNT LINEAR LED FIXTURE

EMERGENCY

STROBE ONLY

HORN STROBE

EMERGENCY LIGHTING

EXIT LIGHTING

FIRE HORN

MINI HORN

MAGNETIC DOOR HOLDER

EXIT SIGNAGE

MISCELLANEOUS

CEILING FAN/LIGHT COMBO

CEILING FAN ONLY

SMOKE/CARBON MONOXIDE ALARMS
In new dwelling or existing dwellings where interior alterations, repairs or room additions occur, the dwelling shall be provided with smoke and carbon monoxide alarms. See IRC code sections R314 & R315 for locations, exceptions and complete specs.

NOTES:

1. ALL SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED.
2. PRIOR TO ROUGH-IN ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO SUBMIT ALL ELECTRICAL DEVICES TO BUILDER FOR APPROVAL.
3. ALL HEIGHT CALL-OUTS TO TOP OF OUTLET UNLESS NOTED OTHERWISE.
4. ALL LAUNDRY, BATHROOM COUNTER, AND KITCHEN OUTLETS TO BE GFI PROTECTED.
5. ALL ELECTRICAL BOXES MOUNTED IN RATED WALLS TO BE IN RATED BOXES.
6. LIGHT SWITCHES, OUTLETS, THERMOSTATS & OTHER ENVIRONMENTAL CONTROLS ARE LOCATED NO HIGHER THAN 48" & NO LOWER THAN 15" ABOVE THE FLOOR.
7. ALL EXTERIOR LIGHTING TO BE PHOTO CELL ON / TIMER OFF.
8. OVERHEAD GARAGE DOORS TO HAVE GROUND FAULT BREAKER IN HOUSE PANEL.

LOWER LEVEL ELECTRICAL PLAN
1/4" = 1'-0"

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402-333-1462
mcneilcompany.com

PLAN DATE 12/24/2024	
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REV 03	04/14/25
REV 04	04/22/25

JOB NUMBER	
15-2451	
DESCRIPTION	
LOWER LEVEL ELECTRICAL PLAN	
PLAN SHEET	
E1.01	

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SWITCHES & CONTROLS

SWITCH (SINGLE POLE)

SWITCH (THREE WAY)

SWITCH (FOUR WAY)

SWITCH (DIMMER)

SWITCH (JAMB)

SWITCH (MOTION)

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MOTION SENSOR

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MINI HORN

MAGNETIC DOOR HOLDER

EXIT SIGNAGE

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MAIN LEVEL ELECTRICAL PLAN

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JOB NUMBER

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DESCRIPTION

LOWER LEVEL ELECTRICAL PLAN

PLAN SHEET

E1.02

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